

APPENDIX C
RETROFIT PLAN FOR COTTAGES AT AZALEA APARTMENTS

Safe Harbors used to develop the retrofit scope:

ADA – Evaluation of Items to Retrofit: 2010 ADA Standards

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

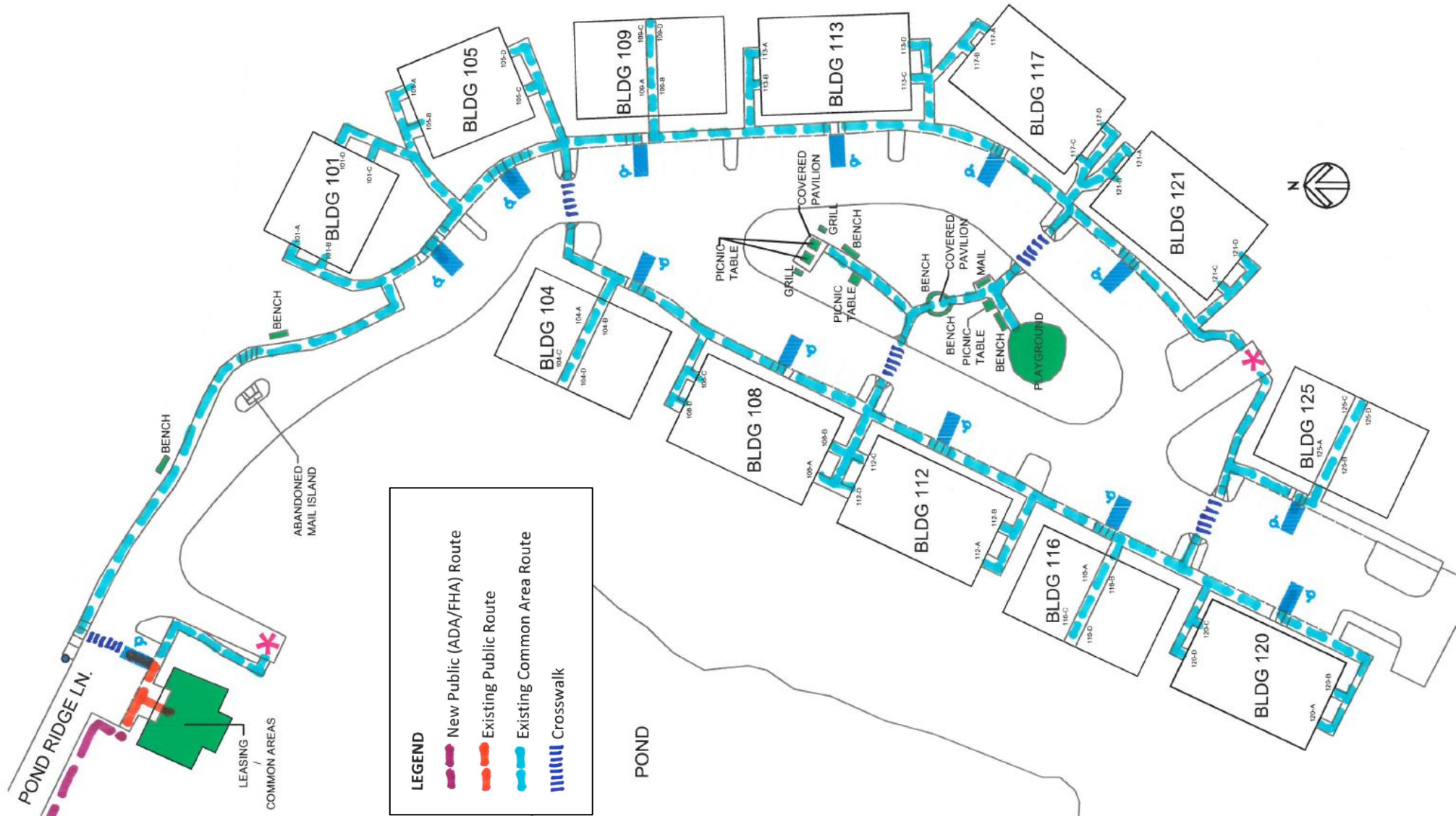
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

Notes:

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.


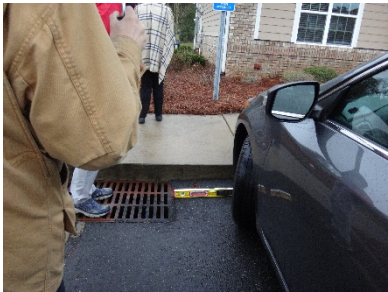
ACCESSIBLE ROUTE DIAGRAM






Cottages at Azalea Apartments Retrofit Plan – 2



A. PUBLIC AND COMMON AREA FEATURES (ADA & FHA)


See diagram at Section B of this list.

	Lack of Accessible Route		
1	 <p><i>Route along drive lane north of leasing office.</i></p>	There is no accessible route between pedestrian site arrival points at the public street and the leasing office (accessible route required).	Provide new sidewalk to Cowell Farm Road (northwest of the leasing office/clubhouse (see Azalea Gardens scope of work and diagram).
	Inaccessible Public Area Features		
2	 <p><i>Parking space – location of area with cross slope.</i></p>	Designated accessible parking space at the leasing office has cross slopes as high as 6.1% (maximum 2% allowed - ADA).	Repave/overlay asphalt at parking space and access aisle. Restripe parking space and access aisle or designate a new compliant accessible parking space and access aisle serving the leasing office. Location of new designated space to be as close as possible to the leasing office entry.

	 <p><i>Cross slope at parking space.</i></p>		
3	 <p><i>Parking space identification sign.</i></p>	<p>The designated parking space sign at the leasing office is 56 inches above the parking surface to the bottom of the Van tag and 59 inches above the parking surface to the bottom of the parking sign above the parking surface (minimum 60 inches required).</p>	<p>Raise parking sign. Provide new post if necessary.</p>



4	 <p><i>Centerline of men's restroom sign.</i></p>	<p>The restroom signage is not centered on an 18 inch wide clear floor space (minimum 9 inches from door jamb required).</p>	<p>Relocate sign.</p>
---	--	--	-----------------------





	INACCESSIBLE FEATURES REFERENCING ADA 2010 STDS.								
5	<div><p><i>Dimension from rear wall to nose of toilet.</i></p><p><i>Dimension from rear wall to toilet paper dispenser.</i></p></div>	<p>The toilet paper dispenser is less than 7 inches from the nose of the toilet (minimum 7 inches required).</p> <table><tr><td><u>Location</u></td><td><u>Distance from nose (inches)</u></td></tr><tr><td>Men's</td><td>4</td></tr><tr><td>Women's</td><td>3-1/2</td></tr></table>	<u>Location</u>	<u>Distance from nose (inches)</u>	Men's	4	Women's	3-1/2	Relocate toilet paper dispensers.
<u>Location</u>	<u>Distance from nose (inches)</u>								
Men's	4								
Women's	3-1/2								



6	<p>The toilet clearance is too small (minimum 60 inches by 56 inches required by 2010 ADA).</p> <table><tr><td></td><td>Width</td></tr><tr><td><u>Location</u></td><td><u>(inches)</u></td></tr><tr><td>Men's</td><td>57-1/4</td></tr></table> <p><i>Dimension from toilet side wall to vanity.</i></p>  <p><i>Dimension from toilet side wall to vanity</i></p>		Width	<u>Location</u>	<u>(inches)</u>	Men's	57-1/4	<p>Relocate/replace lavatory as required to provide 60 inch wide clear space at toilet.</p>
	Width							
<u>Location</u>	<u>(inches)</u>							
Men's	57-1/4							



B. INACCESSIBLE FEATURES AT ROUTES




	Gap In Sidewalk																		
7	<p>Location south of Building 120.</p>  <p>Gap width.</p>	<p>Gaps in the pavement are wider than 1/2 inch (maximum 1/2 inch allowed).</p> <table><tr><td><u>Location of Example</u></td><td><u>Gap (inches)</u></td></tr><tr><td>South of Building 120</td><td>1</td></tr></table>	<u>Location of Example</u>	<u>Gap (inches)</u>	South of Building 120	1	<p>Install filler at gaps.</p>												
<u>Location of Example</u>	<u>Gap (inches)</u>																		
South of Building 120	1																		
	Inaccessible Slopes at Sidewalks																		
8	 <p>Location of level, southwest of Building 112</p>	<p>The cross slopes of the route are more than 2% (maximum 2% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>West of Building 101</td><td>3.2%</td></tr><tr><td>Southwest of Building 105</td><td>3.3%</td></tr><tr><td>Southwest of Building 105</td><td>3.1%</td></tr><tr><td>North of Building 121</td><td>3.2%</td></tr><tr><td>Southwest of Building 112</td><td>3.2%</td></tr><tr><td>West of Building 121</td><td>3.1%</td></tr><tr><td>East of Leasing Office</td><td>3.9%</td></tr></table>	<u>Location</u>	<u>Slope</u>	West of Building 101	3.2%	Southwest of Building 105	3.3%	Southwest of Building 105	3.1%	North of Building 121	3.2%	Southwest of Building 112	3.2%	West of Building 121	3.1%	East of Leasing Office	3.9%	<p>Replace sidewalks at accessible route(s) as required to retrofit sections with excessive cross slope.</p>
<u>Location</u>	<u>Slope</u>																		
West of Building 101	3.2%																		
Southwest of Building 105	3.3%																		
Southwest of Building 105	3.1%																		
North of Building 121	3.2%																		
Southwest of Building 112	3.2%																		
West of Building 121	3.1%																		
East of Leasing Office	3.9%																		



	  <i>Cross slope.</i>	East of Leasing Office 4.0%							
	Inaccessible Slopes								
9	 <i>Curb ramp measurement location (level positioned to measure cross slope).</i>  <i>Running slope.</i>	<p>The running slopes exceed 8.3% (maximum 8.3% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>At old mail center on walk towards units.</td><td>9.1%</td></tr><tr><td>West of Building 105</td><td>9.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	At old mail center on walk towards units.	9.1%	West of Building 105	9.1%	Replace sidewalks and ramps at accessible route(s) as required to retrofit sections with excessive running slope.
<u>Location</u>	<u>Slope</u>								
At old mail center on walk towards units.	9.1%								
West of Building 105	9.1%								


10	 <p><i>Measurement location.</i></p>  <p><i>Cross slope.</i></p>	<p>The cross slope of the sidewalk at the curb ramp east of Building 104 is 3.1% (maximum 2.0% allowed).</p>	<p>Replace sidewalk at accessible routes as required to retrofit sections with excessive cross slope.</p>
	Crosswalks		
11	<i>See Accessible Route Diagram.</i>	<p>Crosswalks at vehicular drives are incorporated into the accessible route(s).</p>	<p>Stripe crosswalks.</p>

	Inaccessible Slope at Door Maneuvering Space						
12	<div><p><i>Entrance door at Unit 101C.</i></p><p><i>Slope at door approach.</i></p></div>	<p>Common unit door maneuvering clearances are sloped more than 2.0% (maximum 2% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>Unit 101C</td><td>3.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Unit 101C	3.1%	<p>Replace concrete at door maneuvering clear space.</p>
<u>Location</u>	<u>Slope</u>						
Unit 101C	3.1%						

	Change in Level						
13	<div><p><i>Change in level at Unit 101D porch slab.</i></p></div>	<p>There are changes in level greater than 1/4 inch that are not beveled (maximum 1/4 inch with no bevel allowed, maximum 1/2 inch allowed with bevel).</p> <table><tr><td><u>Location of Example</u></td><td><u>Height (inches)</u></td></tr><tr><td>Unit 101D</td><td>5/8</td></tr></table>	<u>Location of Example</u>	<u>Height (inches)</u>	Unit 101D	5/8	<p>Bevel the change in level, replace concrete with raised edge, or grind the edge of concrete to make compliant.</p>
<u>Location of Example</u>	<u>Height (inches)</u>						
Unit 101D	5/8						

C. COMMON USE AREAS

	Inaccessible Table		
14	 <p><i>Table located in grass area adjacent to sidewalk.</i></p>	<p>Approach to common area picnic tables are not firm, stable, and slip resistant.</p> <p><u>Location</u></p> <p>Table at common area</p> <p>Table at playground</p>	<p>Install concrete slab under picnic table areas.</p>
	Inaccessible Mail Feature		
15	 <p><i>Mailbox center.</i></p>	<p>Mailbox Center at Common Area</p> <p>Of 5 parcel boxes at this location, all have shelves located below reach range (minimum 9 inches allowed).</p>	<p>Raise bottom shelves of parcel boxes, or add two compliant parcel boxes to the mail center.</p>

		
<p><i>Typical height to parcel box shelf.</i></p>		

D. COVERED DWELLING UNITS

All 12 Cottages at Azalea residential buildings are single-story garden style and all 48 units are covered by FHA.

Unit counts:


- 1 Bedroom / 1 Bath Unit Standard = 7 total
- 1 Bedroom / 1 Bath Unit Type A = 1 total
- 2 Bedroom / 2 Bath Unit Standard = 24 total
- 3 Bedroom / 2 Bath Unit Standard = 15 total
- 3 Bedroom / 2 Bath Unit Type A = 1 total

48 total units (two designated Type A units)

Type A unit counts unclear, totals shown above are based on survey findings only.

Typical Inaccessible Unit Features Common to All Residential Buildings

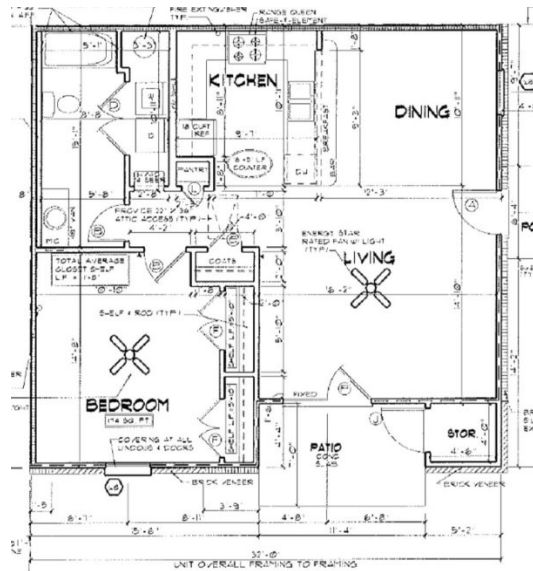
The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.

16	 <p><i>Patio outlet at Unit 101A.</i></p>	<p>Typical Unit patio outlets are less than 15-inches above the floor (minimum 15-inches required). These outlets are for the use of unit residents, not common area outlets for use of all residents and their guests.</p> <table><thead><tr><th><u>Patio Outlet</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Unit 101A</td><td>11-3/8</td></tr><tr><td>Unit 101B</td><td>12-1/8</td></tr><tr><td>Unit 101C</td><td>11</td></tr><tr><td>Unit 101D</td><td>11</td></tr><tr><td>Unit 105A</td><td>11-3/4</td></tr><tr><td>Unit 105B</td><td>12</td></tr><tr><td>Unit 105C</td><td>12</td></tr><tr><td>Unit 105D</td><td>12-1/4</td></tr><tr><td>Unit 108A</td><td>12</td></tr><tr><td>Unit 108B</td><td>11-3/4</td></tr><tr><td>Unit 108C</td><td>11-3/4</td></tr><tr><td>Unit 108D</td><td>12-1/4</td></tr><tr><td>Unit 112A</td><td>11-1/2</td></tr><tr><td>Unit 112B</td><td>12</td></tr><tr><td>Unit 112C</td><td>11-3/4</td></tr><tr><td>Unit 112D</td><td>11-3/4</td></tr></tbody></table>	<u>Patio Outlet</u>	<u>Height (inches)</u>	Unit 101A	11-3/8	Unit 101B	12-1/8	Unit 101C	11	Unit 101D	11	Unit 105A	11-3/4	Unit 105B	12	Unit 105C	12	Unit 105D	12-1/4	Unit 108A	12	Unit 108B	11-3/4	Unit 108C	11-3/4	Unit 108D	12-1/4	Unit 112A	11-1/2	Unit 112B	12	Unit 112C	11-3/4	Unit 112D	11-3/4	<p>Raise outlets.</p>
<u>Patio Outlet</u>	<u>Height (inches)</u>																																				
Unit 101A	11-3/8																																				
Unit 101B	12-1/8																																				
Unit 101C	11																																				
Unit 101D	11																																				
Unit 105A	11-3/4																																				
Unit 105B	12																																				
Unit 105C	12																																				
Unit 105D	12-1/4																																				
Unit 108A	12																																				
Unit 108B	11-3/4																																				
Unit 108C	11-3/4																																				
Unit 108D	12-1/4																																				
Unit 112A	11-1/2																																				
Unit 112B	12																																				
Unit 112C	11-3/4																																				
Unit 112D	11-3/4																																				

	Unit 113A	11-3/8	
	Unit 113B	11-1/2	
	Unit 113C	11-1/4	
	Unit 113D	10-1/2	
	Unit 117A	11-3/4	
	Unit 117B	12-5/8	
	Unit 117C	12	
	Unit 117D	11-3/4	
	Unit 120A	12-1/8	
	Unit 120B	12-1/2	
	Unit 120C	12-1/4	
	Unit 120D	11-7/8	
	Unit 121A	12-5/8	
	Unit 121B	12	
	Unit 121C	12	
	Unit 121D	11-5/8	


UNIT TYPE: 1 Bedroom, 1 Bathroom


Surveyed Unit 101A, 105A – Typical for 7 total units



Unit Plan.

Inaccessible Features:

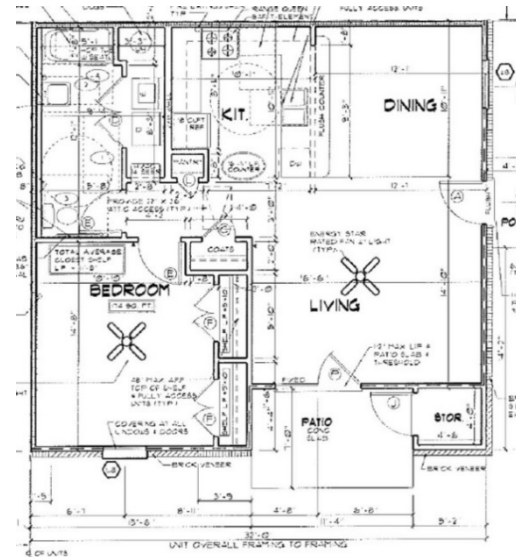
17	 <p><i>Balcony door threshold exterior side at Unit 105A</i></p>	<p>Patio door threshold is more than 3/4 inches high at the exterior face and is not beveled (maximum 3/4 inch threshold with bevel allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 105A, balcony</td><td>1-1/4</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 105A, balcony	1-1/4	<p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Height (inches)</u>						
Unit 105A, balcony	1-1/4						

<p>18</p>	<p><i>Clear floor space obstructed by adjacent refrigerator.</i></p>  <p><i>Clear floor space obstructed by adjacent range. Unit 101A.</i></p>	<p>The outlets above kitchen countertops lack the required clear floor space for approach. Obstructions require reaches greater than 25-1/2 inches (at least 1 outlet in each counter area must have clear floor space for approach.)</p>	<p>Replace range or add outlet(s) at accessible location serving the counter area.</p>
-----------	---	---	--

UNIT TYPE: 1 Bedroom, 1 Bathroom (Type A)

Surveyed Unit 101C – Typical for 1 unit only

Unit Plan.

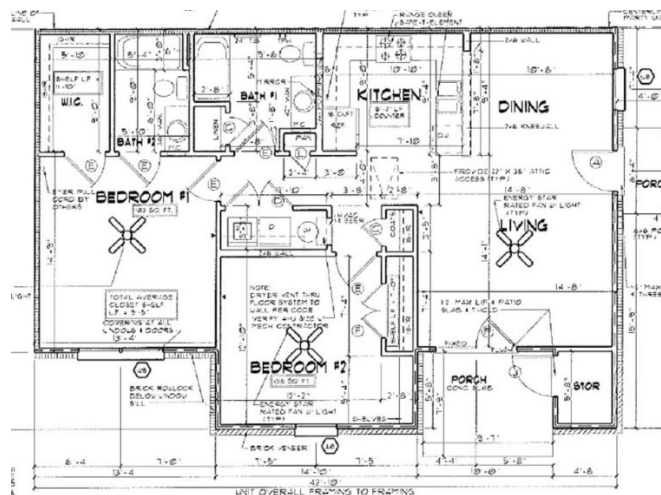


Inaccessible Features:

19	<i>Clear floor space obstructed by adjacent refrigerator.</i>	The outlets above kitchen countertops lack the required clear floor space for approach (at least 1 outlet in each counter area must have clear floor space for approach.)	Replace range or add outlet(s) at accessible location serving the counter area. Work may require relocation of range or an outlet at the front face of a cabinet.
----	---	---	---


UNIT TYPE: 2 Bedroom, 2 Bathroom


Surveyed Unit 117C, 120B– Typical for 20 total units





Unit Plan.

Inaccessible Features:

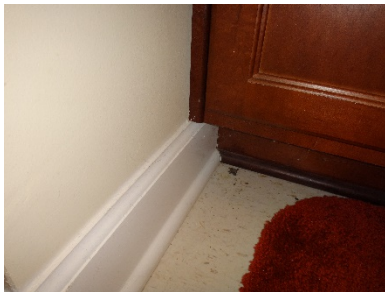
20	 <p><i>Entrance door threshold exterior side at Unit 120B.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 117C, storage</td><td>1-3/8</td></tr><tr><td>Unit 120B, entrance</td><td>1</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 117C, storage	1-3/8	Unit 120B, entrance	1	<p>At unit entry doors: Provide beveled transition strips.</p> <p>At storage doors: Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS</p>
<u>Location</u>	<u>Height (inches)</u>								
Unit 117C, storage	1-3/8								
Unit 120B, entrance	1								

	 <p><i>Storage door threshold exterior side at Unit 117C.</i></p>		THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”						
21	<p><i>Pantry closet depth in Unit 117C.</i></p>	<p>The door clear openings are less than 31-5/8 inches at pantries and closets which are more than 24 inches deep (minimum 31-5/8 inch required).</p> <table> <tr> <th><u>Location</u></th> <th><u>Clear Width (inches)</u></th> </tr> <tr> <td>117C</td> <td>21-1/2</td> </tr> <tr> <td>120B</td> <td>22</td> </tr> </table>	<u>Location</u>	<u>Clear Width (inches)</u>	117C	21-1/2	120B	22	Widen door or install new back wall at closet such that closet depth is reduced to 24 inches.
<u>Location</u>	<u>Clear Width (inches)</u>								
117C	21-1/2								
120B	22								

	 <p><i>Clear door opening.</i></p>						
22	 <p><i>Dimension from side wall to centerline of lavatory in Unit 117C.</i></p>	<p>The lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 120B bathroom.</td><td>18-3/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 120B bathroom.	18-3/4	<p>Install removable base cabinet at lavatory.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 120B bathroom.	18-3/4						



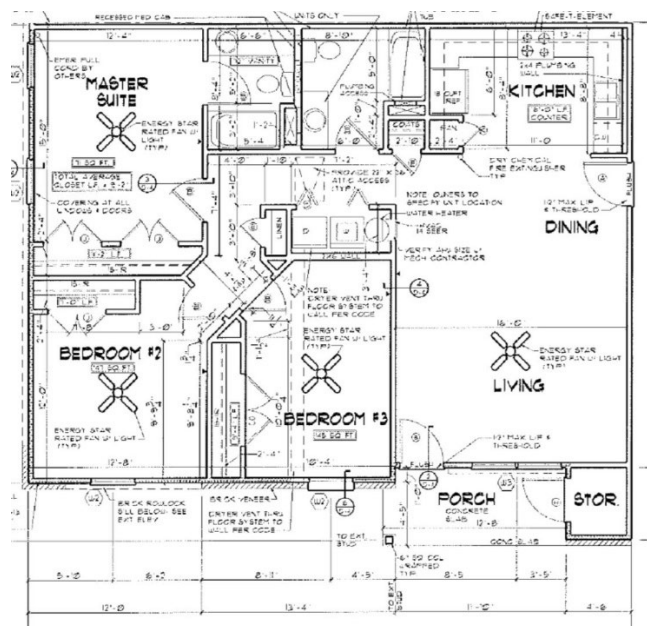
Vanity base interior in Unit 120B.



Vanity base in Unit 120B.

UNIT TYPE: 3 Bedroom, 2 Bathroom


Surveyed Unit 109B, 116C - Typical for 15 total units



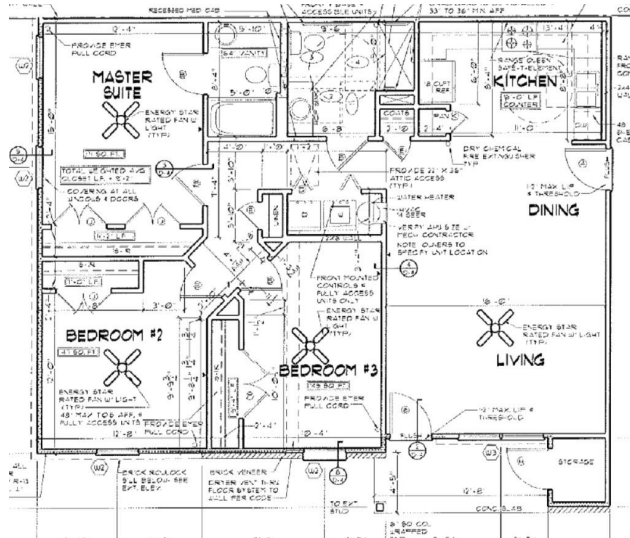
Unit Plan.

Note: unit bathrooms evaluated using Option B requirements for the hall bath.

Inaccessible Features:


23	 <p><i>Storage door threshold exterior side at Unit 116C.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><td>Location</td><td>Height (inches)</td></tr><tr><td>Unit 116C, storage</td><td>1-1/2</td></tr></table>	Location	Height (inches)	Unit 116C, storage	1-1/2	<p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
Location	Height (inches)						
Unit 116C, storage	1-1/2						



UNIT TYPE: 3 Bedroom, 2 Bathroom (Type A)
Surveyed Unit 104B – Typical for 1 unit only



Unit Plan.

Inaccessible Features:

<p>24</p>	 <p><i>Storage door threshold exterior side at Unit 104B.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <p>Location Unit 104B, storage</p> <p>Height (inches) 1-1/2</p>	<p>At storage doors:</p> <p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
-----------	---	--	--

25	 <p><i>Lavatory in Unit 104B.</i></p>  <p><i>Dimension from side wall to centerline of lavatory.</i></p>	<p>The lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 104B bathroom.</td><td>14-1/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 104B bathroom.	14-1/4	<p>Install removable base cabinet at lavatory.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 104B bathroom.	14-1/4						