

## APPENDIX A

### Surveyed Properties

#### Consent Order, *United States v. Lanier Pointe, LLC, et al.* (E.D.NC.)

Subject Property	Address	Description	Defendants Associated with Property
Azalea Gardens Apartments	200 Monroe Highway, Lancaster, SC	A single two-story building with an elevator with approximately 36 covered units.	Pendergraph Development, LLC; Caliber Builders, LLC; Azalea Gardens, LLC
Cottages at Azalea Apartments	100 Pond Ridge Lane, Lancaster, SC	Two one-story buildings with approximately 48 covered units.	Pendergraph Development, LLC; Caliber Builders, LLC; Cottages at Azalea, LLC
Manor Ridge Apartments	209 S. Main Street, Wingate, NC	Eight two-story buildings with approximately 16 units.	Pendergrant, LLC; Manor Ridge Limited Partnership
Millers Ridge Apartments	1000 Millers Ridge Lane Lancaster, SC	Nine buildings with approximately 36 covered units.	Pendergrant, LLC; Millers Ridge Apartments, L.P.
Lanier Pointe I	1030 Sue Lane, Shelby, NC	Three buildings with approximately 24 covered units.	Pendergraph Development, LLC; Caliber Builders, LLC; Lanier Pointe, LLC;
Lanier Pointe II	1020 Sue Lane, Shelby, NC	Four buildings with approximately 20 covered multifamily dwellings.	Pendergraph Development, LLC; Caliber Builders, LLC; Lanier Pointe Phase II, LLC

## APPENDIX B

### Unsurveyed Properties

Consent Order, *United States v. Lanier Pointe, LLC, et al.* (E.D.N.C.)

Subject Property	Address	Description	Defendants or Defendant-Related Entities Associated with this Property
Abby Gardens	4625 Cindy Lane, Kinston, NC 28504	Eight single-story one-bedroom buildings (4 units each) and four single-story two-bedroom buildings (4 units each). Total units: 48 Covered units: 48	Pendergraph Development, LLC; Caliber Builders, LLC
Andover Park	2127 Daly Waldrop Road, Kinston, NC 28504	Two three-story "Type 1" buildings (24 units per building, 12 two-bedrooms and 12 three-bedrooms in the building) and one three-story "Type 2" building (12 units, all units are two-bedroom). Total units: 60 Covered units: 20	Pendergraph Development, LLC; Caliber Builders, LLC
Bayleaf Plantation	1120 Cowell Farm Road, Washington, NC 27889	One two-story elevator building for seniors with 28 one-bedroom and 8 two-bedroom units. Total Units: 36 Covered Units: 36	Pendergrat Development, LLC; Caliber Builders, LLC
Cambridge Farms	900 Doctors Drive, Kinston, NC 28501	Three three-story buildings each with 20 units, including 36 two-bedroom units and 24 three-bedroom units. Total units: 60 Covered units: 24	Pendergraph Development, LLC; Caliber Builders, LLC
Cleveland Ridge	327 Cleveland Ridge, Kings Mountain, NC 28086	Seven two-story buildings with approximately eight units per building. Total units: 56 Covered units: 28	Pendergraph Development, LLC; Caliber Builders, LLC
Clifton Park	1030 Cowell Farm Road, Washington, NC 27889	Six two-story buildings, each with 8 units, including four buildings with eight two-bedroom units and two buildings with eight three-bedroom units.	Pendergrat Development, LLC

		Total units: 48 Covered units: 24	
Cottages at Brevard	15 Pender Lane, Brevard, NC 28712	Ten single-story buildings, including 28 one-bedroom units and 12 two-bedroom units. Total units: 40 Covered units: 40	Pendergraph Development, LLC
Cottages at Glendale	400 Pike Street SW, Wilson, NC 27893	Ten single-story buildings with four units each containing eight one-bedroom units and 32 two-bedroom units. Total units: 40 Covered units: 40	Pendergraph Development, LLC; Caliber Builders, LLC
Cottages at Twin Oaks	16 Maple Grove Court, Angier, NC 27501	Twelve single-story buildings, including 16 two-bedroom units and 32 three-bedroom units. Total units: 48 Covered units: 48	Pendergraph Development, LLC; Caliber Builders, LLC
Evans Pointe I	102 Evans Pointe Drive, Tabor City, NC 28463	Eight single-story buildings including four one-bedroom, 20 two-bedroom, and eight three-bedroom units. Total units: 32 units Covered units: 32	Pendergrant, LLC
Evans Pointe II	101 Essie Mae Court, Tabor City, NC 28463	Six single-story buildings each with four units, including three Type 1 buildings (4 one-bedroom units per building) and three Type 2 buildings (4 two-bedroom units per building), and one free standing “manager’s apartment” building. Total units: 25 Covered units: 24	Pendergrant, LLC
Franklin Ridge	213 W. Hartley Drive, High Point, NC 27265	Four three-story buildings each with four units, including 36 two-bedroom units and 12 three-bedroom units. Total units: 48 Covered units: 16	Pendergrant, LLC
Glen Arbor Apartments	2000 Glen Arbor Court, Aiken, SC	Six two- and three-story buildings, including 40 two-bedroom units and 16 three-bedroom units. Total units: 56 Covered units: 24	Pendergrant-Glen Arbor, LLC
Glen Lake Apartments	557 NC Highway 210, Smithfield, NC	Three three-story apartment buildings, including 36 two-bedroom units and 36 three-bedroom units.	Pendergraph Development, LLC; Caliber Builders, LLC

	27577	Total units: 72 Covered units: 24	
Glendale Woods	401 Pike St. SW, Wilson, NC	A two-story elevator building for seniors, including 28 one-bedroom units and 8 two-bedroom units. Total units: 36 Covered units: 36	Pendergraph Development, LLC; Caliber Builders, LLC
Greenbriar Landing	1000 Doctors Drive, Kinston, NC	A three-story elevator building for seniors, including 25 one-bedroom units and 36 two-bedroom units. Total units: 61 Covered units: 61	Pendergraph Development, LLC; Caliber Builders, LLC
Greenridge Apartments	200 Greenridge Drive, Rockingham, NC 28379	Six two-story buildings, including 24 two-bedroom units and 24 three-bedroom units. Total units: 48 Covered units: 24	Pendergrat Development, LLC; Caliber Builders, LLC
Hamilton Ridge Apartments	2041 Hamilton Ridge, Oak City, NC 27857	Six single story buildings, including 20 one-bedroom units and four two-bedroom units. Total units: 24 Covered units: 24	Pendergrat Development, LLC
Hawthorne Court Apartments	1609 Barlow Road, Tarboro, NC 27886	Six two-story buildings, including 36 two-bedroom units and 12 three-bedroom units. Total units: 48 Covered units: 24	Pendergrat, LLC
James Pointe Apartments	422 Turnersburg Highway, Statesville, NC 28625	One two-story building and three three-story buildings, including eight one-bedroom units, 36 two-bedroom units, and 36 three-bedroom units. Total units: 80 Covered units: 28	Pendergraph Development, LLC; Caliber Builders, LLC
Kings Falls Apartments	425 Kings Falls Lane, Kings Mountain, NC 28086	One two-story building with an elevator, including 28 one-bedroom units and eight two-bedroom units. Total units: 36 Covered units: 36	Pendergraph Development, LLC
Kingston Ridge Apartments	1250 Kingston Place, Thomasville, NC 27360	Three two-story buildings, three three-story buildings, including eight one-bedroom units, 36 two-bedroom units, and 16 three-bedroom units. Total units: 60 Covered units: 24	Pendergrat, LLC



Laurel Pointe Apartments	660 East New Hope Road, Goldsboro, NC 27534	Six two-story buildings, including 32 two-bedroom units, and 16 three-bedroom units. Total units: 48 Covered units: 24	Pendergrant, LLC
Laurel Pointe Apartments II	660 East New Hope Road, Goldsboro, NC 27534	Four two-story buildings, including eight one-bedroom units and 24 two-bedroom units. Total units: 32 Covered units: 16	Pendergrant Development, LLC
Lochstone Apartments	600 Lockhaven Drive, Goldsboro, NC 27534	Three three-story buildings, including 48 two-bedroom units and 36 three-bedroom units. Total units: 84 Covered units: unknown	Pendergraph Development, LLC; Caliber Builders, LLC
Loris Garden	660 East New Hope Road, Loris, NC 27534	A single two-story elevator building for seniors, including 28 one-bedroom units and eight two-bedroom units. Total units: 36 Covered units: 36	Pendergrant Loris Gardens, LLC
McKinley Place	55 N. Johnson Street, Coats, NC 27521	Six two-story buildings, including 32 two-bedroom units and 16 three-bedroom units. Total units: 48 Covered units: 24	Pendergraph Development, LLC; Caliber Builders, LLC
Morgan's Ridge I	3311 Boyette Drive SW, Wilson, NC 27893	Six two-story buildings including 32 two-bedroom units and 16 three-bedroom units. Total units: 48 Covered units: 24	Pendergrant, LLC
Morgan's Ridge II	3311 Boyette Drive SW, Wilson, NC 27893	Three two-story buildings with 24 units including eight one-bedroom units and 16 two-bedroom units. Total units: 24 Covered units: 12	Pendergrant, LLC
Oaks at Brier Creek	9941 Brier Oak Place, Raleigh, NC 27617	Eight three-story buildings, including 24 one-bedroom units, 72 two-bedroom units, and 48 three-bedroom units. Total units: 144 Covered units: 48	Pendergrant, LLC
Oxford Plantation	601 Oxford Boulevard, Goldsboro, NC 27534	Three three-story buildings including 36 two-bedroom units and 24 three-bedroom units. Total units: 60 Covered units: 24	Pendergraph Development, LLC; Caliber Builders, LLC

Palmettos Way	4399 Suggs Street, Loris, SC 29569	Five two-story buildings including 36 two-bedroom units and 24 three-bedroom units. Total units: 60 Covered units: 24	Pendergrant Palmettos Way, LLC
Port Royal	11 Grober Hill Road, Beaufort, SC 29906	Three three-story buildings including 36 two-bedroom units and 24 three-bedroom units. Total units: 60 Covered units: 24	Port Royal Apartments, LLC; Caliber Builders, LLC
Sierra Gardens	158 Sierra Avenue, Hamlet, NC 28345	One three-story elevator building, including 20 one-bedroom units and 12 two-bedroom units. Total units: 32 Covered units: 32	Pendergrant, LLC
Signal Ridge	469 Signal Hill Road, Hendersonville, NC 28792	Three three-story buildings including 36 two-bedroom units and 24 three-bedroom units. Total units: 60 Covered units: 24	Pendergraph Development, LLC; Caliber Builders, LLC
The Meadows at Brier Creek	11700 Arnold Palmer Drive, Raleigh, NC 27617	One three-story elevator building for seniors, including 52 one-bedroom units, and 44 two-bedroom units. Total units: 96 Covered units: 96	Pendergrant, LLC
Wesley Landing	1720 Lipscomb Road E, Wilson, NC 27893	Four two-story buildings, including 24 two-bedroom units and 40 three-bedroom units. Total units: 64 Covered units: 32	FWP Ashebrook Park, LLC; Caliber Builders, LLC
Whitford Place	400 Whitford Place Court, Winston Salem, NC 27107	Seven two- and three-story buildings, including 52 two-bedroom units and 24 three-bedroom units. Total units: 76 Covered units: approx. 28	Pendergrant, LLC
Wilton Place	810 N. Main Street, Creedmoor, NC 27522	Four three-story buildings, including 8 one-bedroom units and 60 two-bedroom units. Total units: approx. 68 Covered units: approx. 24	Pendergraph Development, LLC; Caliber Builders, LLC

WyndSOR Downs	55 WyndSOR Drive, Polkton, NC 28135	Four two-story buildings, including two-bedroom units and 8 three-bedroom units. Total units: 32 Covered units: 28	Caliber Builders, LLC
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**APPENDIX C**  
**RETROFIT PLAN FOR COTTAGES AT AZALEA APARTMENTS**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 2010 ADA Standards

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

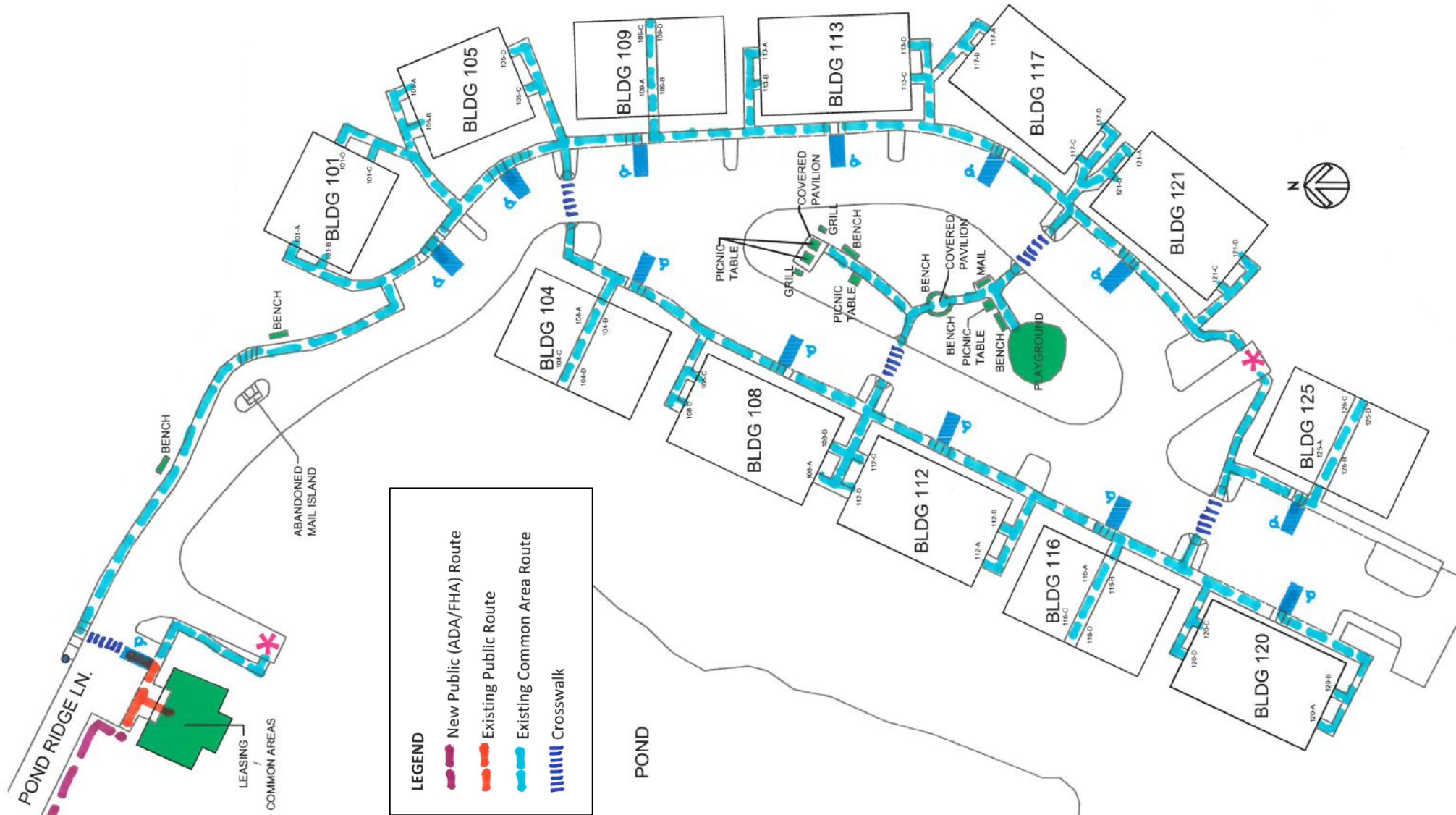
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.


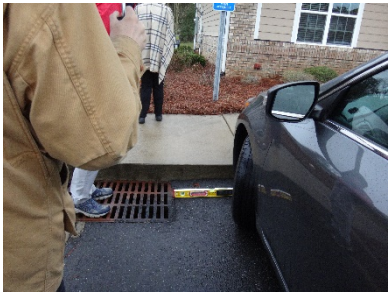
# ACCESSIBLE ROUTE DIAGRAM





Cottages at Azalea Apartments Retrofit Plan – 2


**A. PUBLIC AND COMMON AREA FEATURES (ADA & FHA)**



See diagram at Section B of this list.


	<b>Lack of Accessible Route</b>		
1	 <p><i>Route along drive lane north of leasing office.</i></p>	There is no accessible route between pedestrian site arrival points at the public street and the leasing office (accessible route required).	Provide new sidewalk to Cowell Farm Road (northwest of the leasing office/clubhouse (see Azalea Gardens scope of work and diagram).
	<b>Inaccessible Public Area Features</b>		
2	 <p><i>Parking space – location of area with cross slope.</i></p>	Designated accessible parking space at the leasing office has cross slopes as high as 6.1% (maximum 2% allowed - ADA).	Repave/overlay asphalt at parking space and access aisle. Restripe parking space and access aisle or designate a new compliant accessible parking space and access aisle serving the leasing office. Location of new designated space to be as close as possible to the leasing office entry.

	 <p><i>Cross slope at parking space.</i></p>		
3	 <p><i>Parking space identification sign.</i></p>	<p>The designated parking space sign at the leasing office is 56 inches above the parking surface to the bottom of the Van tag and 59 inches above the parking surface to the bottom of the parking sign above the parking surface (minimum 60 inches required).</p>	<p>Raise parking sign. Provide new post if necessary.</p>





<p>4</p>	 <p><i>Centerline of men's restroom sign.</i></p>	<p>The restroom signage is not centered on an 18 inch wide clear floor space (minimum 9 inches from door jamb required).</p>	<p>Relocate sign.</p>
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	<b>INACCESSIBLE FEATURES REFERENCING ADA 2010 STDS.</b>										
5	 <p><i>Dimension from rear wall to nose of toilet.</i></p>  <p><i>Dimension from rear wall to toilet paper dispenser.</i></p>	<p>The toilet paper dispenser is less than 7 inches from the nose of the toilet (minimum 7 inches required).</p> <table><tr><td></td><td>Distance from nose</td></tr><tr><td><u>Location</u></td><td><u>(inches)</u></td></tr><tr><td>Men's</td><td>4</td></tr><tr><td>Women's</td><td>3-1/2</td></tr></table>		Distance from nose	<u>Location</u>	<u>(inches)</u>	Men's	4	Women's	3-1/2	Relocate toilet paper dispensers.
	Distance from nose										
<u>Location</u>	<u>(inches)</u>										
Men's	4										
Women's	3-1/2										



6	<p>The toilet clearance is too small (minimum 60 inches by 56 inches required by 2010 ADA).</p> <table><tr><td></td><td>Width</td></tr><tr><td><u>Location</u></td><td><u>(inches)</u></td></tr><tr><td>Men's</td><td>57-1/4</td></tr></table> <p><i>Dimension from toilet side wall to vanity.</i></p>  <p><i>Dimension from toilet side wall to vanity</i></p>		Width	<u>Location</u>	<u>(inches)</u>	Men's	57-1/4	<p>Relocate/replace lavatory as required to provide 60 inch wide clear space at toilet.</p>
	Width							
<u>Location</u>	<u>(inches)</u>							
Men's	57-1/4							

## B. INACCESSIBLE FEATURES AT ROUTES






	<b>Gap In Sidewalk</b>																	
7	<p>Gaps in the pavement are wider than 1/2 inch (maximum 1/2 inch allowed).</p> <table> <tr> <td><u>Location of Example</u></td> <td><u>Gap (inches)</u></td> </tr> <tr> <td>South of Building 120</td> <td>1</td> </tr> </table> <p><i>Location south of Building 120.</i></p>  <p><i>Gap width.</i></p>	<u>Location of Example</u>	<u>Gap (inches)</u>	South of Building 120	1	<p>Install filler at gaps.</p>												
<u>Location of Example</u>	<u>Gap (inches)</u>																	
South of Building 120	1																	
	<b>Inaccessible Slopes at Sidewalks</b>																	
8	 <p><i>Location of level, southwest of Building 112</i></p> <table> <tr> <td><u>Location</u></td> <td><u>Slope</u></td> </tr> <tr> <td>West of Building 101</td> <td>3.2%</td> </tr> <tr> <td>Southwest of Building 105</td> <td>3.3%</td> </tr> <tr> <td>Southwest of Building 105</td> <td>3.1%</td> </tr> <tr> <td>North of Building 121</td> <td>3.2%</td> </tr> <tr> <td>Southwest of Building 112</td> <td>3.2%</td> </tr> <tr> <td>West of Building 121</td> <td>3.1%</td> </tr> <tr> <td>East of Leasing Office</td> <td>3.9%</td> </tr> </table>	<u>Location</u>	<u>Slope</u>	West of Building 101	3.2%	Southwest of Building 105	3.3%	Southwest of Building 105	3.1%	North of Building 121	3.2%	Southwest of Building 112	3.2%	West of Building 121	3.1%	East of Leasing Office	3.9%	<p>Replace sidewalks at accessible route(s) as required to retrofit sections with excessive cross slope.</p>
<u>Location</u>	<u>Slope</u>																	
West of Building 101	3.2%																	
Southwest of Building 105	3.3%																	
Southwest of Building 105	3.1%																	
North of Building 121	3.2%																	
Southwest of Building 112	3.2%																	
West of Building 121	3.1%																	
East of Leasing Office	3.9%																	

	  <i>Cross slope.</i>	East of Leasing Office 4.0%							
	<b>Inaccessible Slopes</b>								
9	 <i>Curb ramp measurement location (level positioned to measure cross slope).</i>  <i>Running slope.</i>	<p>The running slopes exceed 8.3% (maximum 8.3% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>At old mail center on walk towards units.</td><td>9.1%</td></tr><tr><td>West of Building 105</td><td>9.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	At old mail center on walk towards units.	9.1%	West of Building 105	9.1%	Replace sidewalks and ramps at accessible route(s) as required to retrofit sections with excessive running slope.
<u>Location</u>	<u>Slope</u>								
At old mail center on walk towards units.	9.1%								
West of Building 105	9.1%								



10	 <p><i>Measurement location.</i></p>  <p><i>Cross slope.</i></p>	<p>The cross slope of the sidewalk at the curb ramp east of Building 104 is 3.1% (maximum 2.0% allowed).</p>	<p>Replace sidewalk at accessible routes as required to retrofit sections with excessive cross slope.</p>
	<b>Crosswalks</b>		
11	<i>See Accessible Route Diagram.</i>	<p>Crosswalks at vehicular drives are incorporated into the accessible route(s).</p>	<p>Stripe crosswalks.</p>




	<b>Inaccessible Slope at Door Maneuvering Space</b>						
12	<div><p><i>Entrance door at Unit 101C.</i></p><p><i>Slope at door approach.</i></p></div>	<p>Common unit door maneuvering clearances are sloped more than 2.0% (maximum 2% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>Unit 101C</td><td>3.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Unit 101C	3.1%	<p>Replace concrete at door maneuvering clear space.</p>
<u>Location</u>	<u>Slope</u>						
Unit 101C	3.1%						

	Change in Level						
13	<div></div> <div>Change in level at Unit 101D porch slab.</div>	<div>There are changes in level greater than 1/4 inch that are not beveled (maximum 1/4 inch with no bevel allowed, maximum 1/2 inch allowed with bevel).</div> <div><table><tr><th><u>Location of Example</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 101D</td><td>5/8</td></tr></table></div>	<u>Location of Example</u>	<u>Height (inches)</u>	Unit 101D	5/8	<div>Bevel the change in level, replace concrete with raised edge, or grind the edge of concrete to make compliant.</div>
<u>Location of Example</u>	<u>Height (inches)</u>						
Unit 101D	5/8						

## C. COMMON USE AREAS

	Inaccessible Table		
14	 <p><i>Table located in grass area adjacent to sidewalk.</i></p>	<p>Approach to common area picnic tables are not firm, stable, and slip resistant.</p> <p><u>Location</u></p> <p>Table at common area</p> <p>Table at playground</p>	<p>Install concrete slab under picnic table areas.</p>
	Inaccessible Mail Feature		
15	 <p><i>Mailbox center.</i></p>	<p>Mailbox Center at Common Area</p> <p>Of 5 parcel boxes at this location, all have shelves located below reach range (minimum 9 inches allowed).</p>	<p>Raise bottom shelves of parcel boxes, or add two compliant parcel boxes to the mail center.</p>

		
<p><i>Typical height to parcel box shelf.</i></p>		

#### **D. COVERED DWELLING UNITS**

All 12 Cottages at Azalea residential buildings are single-story garden style and all 48 units are covered by FHA.

Unit counts:


- 1 Bedroom / 1 Bath Unit Standard = 7 total
- 1 Bedroom / 1 Bath Unit Type A = 1 total
- 2 Bedroom / 2 Bath Unit Standard = 24 total
- 3 Bedroom / 2 Bath Unit Standard = 15 total
- 3 Bedroom / 2 Bath Unit Type A = 1 total

48 total units (two designated Type A units)

Type A unit counts unclear, totals shown above are based on survey findings only.

## Typical Inaccessible Unit Features Common to All Residential Buildings

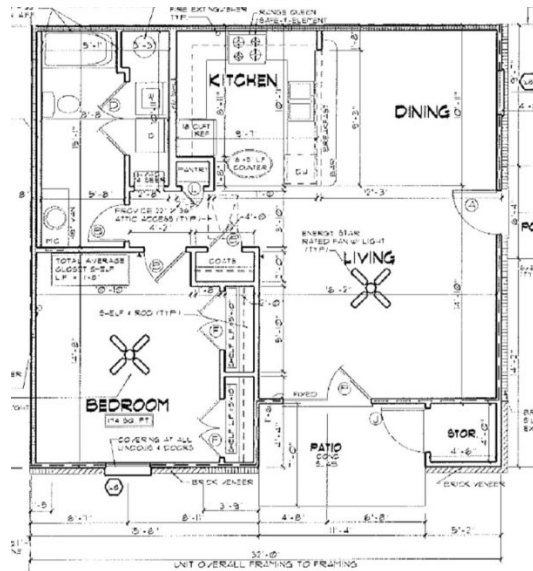
The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.

16	 <p><i>Patio outlet at Unit 101A.</i></p>	<p>Typical Unit patio outlets are less than 15-inches above the floor (minimum 15-inches required). These outlets are for the use of unit residents, not common area outlets for use of all residents and their guests.</p> <table><thead><tr><th><u>Patio Outlet</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Unit 101A</td><td>11-3/8</td></tr><tr><td>Unit 101B</td><td>12-1/8</td></tr><tr><td>Unit 101C</td><td>11</td></tr><tr><td>Unit 101D</td><td>11</td></tr><tr><td>Unit 105A</td><td>11-3/4</td></tr><tr><td>Unit 105B</td><td>12</td></tr><tr><td>Unit 105C</td><td>12</td></tr><tr><td>Unit 105D</td><td>12-1/4</td></tr><tr><td>Unit 108A</td><td>12</td></tr><tr><td>Unit 108B</td><td>11-3/4</td></tr><tr><td>Unit 108C</td><td>11-3/4</td></tr><tr><td>Unit 108D</td><td>12-1/4</td></tr><tr><td>Unit 112A</td><td>11-1/2</td></tr><tr><td>Unit 112B</td><td>12</td></tr><tr><td>Unit 112C</td><td>11-3/4</td></tr><tr><td>Unit 112D</td><td>11-3/4</td></tr></tbody></table>	<u>Patio Outlet</u>	<u>Height (inches)</u>	Unit 101A	11-3/8	Unit 101B	12-1/8	Unit 101C	11	Unit 101D	11	Unit 105A	11-3/4	Unit 105B	12	Unit 105C	12	Unit 105D	12-1/4	Unit 108A	12	Unit 108B	11-3/4	Unit 108C	11-3/4	Unit 108D	12-1/4	Unit 112A	11-1/2	Unit 112B	12	Unit 112C	11-3/4	Unit 112D	11-3/4	<p>Raise outlets.</p>
<u>Patio Outlet</u>	<u>Height (inches)</u>																																				
Unit 101A	11-3/8																																				
Unit 101B	12-1/8																																				
Unit 101C	11																																				
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Unit 105A	11-3/4																																				
Unit 105B	12																																				
Unit 105C	12																																				
Unit 105D	12-1/4																																				
Unit 108A	12																																				
Unit 108B	11-3/4																																				
Unit 108C	11-3/4																																				
Unit 108D	12-1/4																																				
Unit 112A	11-1/2																																				
Unit 112B	12																																				
Unit 112C	11-3/4																																				
Unit 112D	11-3/4																																				

	Unit 113A	11-3/8	
	Unit 113B	11-1/2	
	Unit 113C	11-1/4	
	Unit 113D	10-1/2	
	Unit 117A	11-3/4	
	Unit 117B	12-5/8	
	Unit 117C	12	
	Unit 117D	11-3/4	
	Unit 120A	12-1/8	
	Unit 120B	12-1/2	
	Unit 120C	12-1/4	
	Unit 120D	11-7/8	
	Unit 121A	12-5/8	
	Unit 121B	12	
	Unit 121C	12	
	Unit 121D	11-5/8	


**UNIT TYPE: 1 Bedroom, 1 Bathroom**

Surveyed Unit 101A, 105A – Typical for 7 total units




*Unit Plan.*

**Inaccessible Features:**

17	 <p><i>Balcony door threshold exterior side at Unit 105A</i></p>	<p>Patio door threshold is more than 3/4 inches high at the exterior face and is not beveled (maximum 3/4 inch threshold with bevel allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 105A, balcony</td><td>1-1/4</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 105A, balcony	1-1/4	<p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Height (inches)</u>						
Unit 105A, balcony	1-1/4						

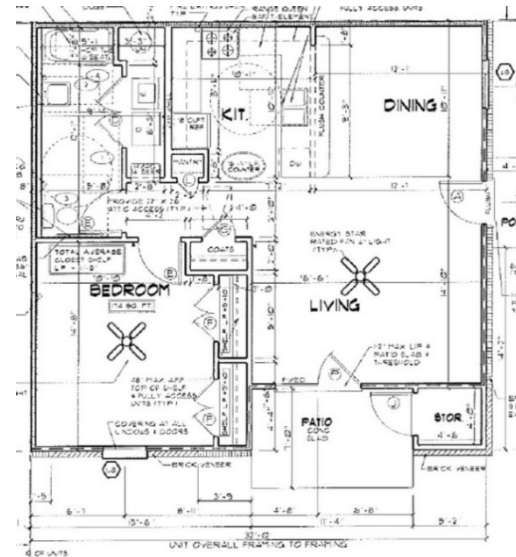


18	<p><i>Clear floor space obstructed by adjacent refrigerator.</i></p>  <p><i>Clear floor space obstructed by adjacent range. Unit 101A.</i></p>	<p>The outlets above kitchen countertops lack the required clear floor space for approach. Obstructions require reaches greater than 25-1/2 inches (at least 1 outlet in each counter area must have clear floor space for approach.)</p>	<p>Replace range or add outlet(s) at accessible location serving the counter area.</p>
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**UNIT TYPE: 1 Bedroom, 1 Bathroom (Type A)**

Surveyed Unit 101C – Typical for 1 unit only

*Unit Plan.*

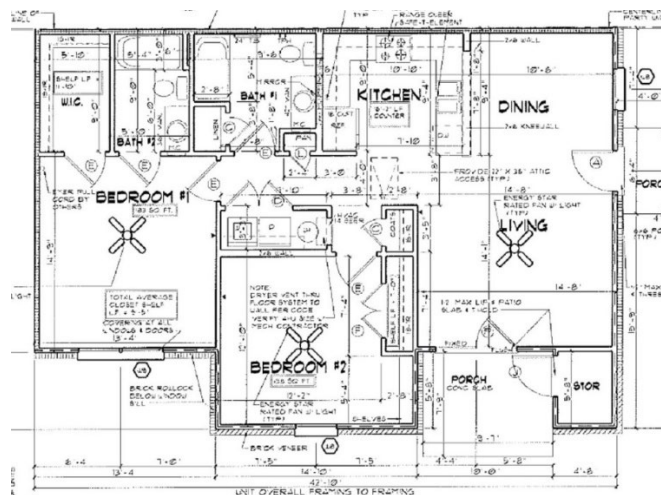


**Inaccessible Features:**

19	<i>Clear floor space obstructed by adjacent refrigerator.</i>	The outlets above kitchen countertops lack the required clear floor space for approach (at least 1 outlet in each counter area must have clear floor space for approach.)	Replace range or add outlet(s) at accessible location serving the counter area. Work may require relocation of range or an outlet at the front face of a cabinet.
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# UNIT TYPE: 2 Bedroom, 2 Bathroom


Surveyed Unit 117C, 120B– Typical for 20 total units





Unit Plan.

## Inaccessible Features:

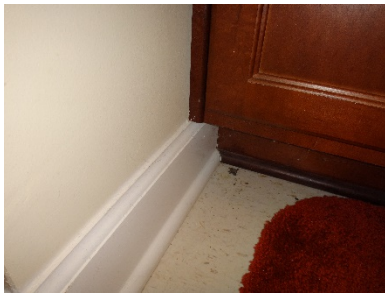
20	 <p><i>Entrance door threshold exterior side at Unit 120B.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Unit 117C, storage</td><td>1-3/8</td></tr><tr><td>Unit 120B, entrance</td><td>1</td></tr></tbody></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 117C, storage	1-3/8	Unit 120B, entrance	1	<p>At unit entry doors: Provide beveled transition strips.</p> <p>At storage doors: Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS</p>
<u>Location</u>	<u>Height (inches)</u>								
Unit 117C, storage	1-3/8								
Unit 120B, entrance	1								

	 <p><i>Storage door threshold exterior side at Unit 117C.</i></p>		THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”						
21	<p><i>Pantry closet depth in Unit 117C.</i></p>	<p>The door clear openings are less than 31-5/8 inches at pantries and closets which are more than 24 inches deep (minimum 31-5/8 inch required).</p> <table> <tr> <th><u>Location</u></th> <th><u>Clear Width (inches)</u></th> </tr> <tr> <td>117C</td> <td>21-1/2</td> </tr> <tr> <td>120B</td> <td>22</td> </tr> </table>	<u>Location</u>	<u>Clear Width (inches)</u>	117C	21-1/2	120B	22	Widen door or install new back wall at closet such that closet depth is reduced to 24 inches.
<u>Location</u>	<u>Clear Width (inches)</u>								
117C	21-1/2								
120B	22								

	 <p><i>Clear door opening.</i></p>						
22	 <p><i>Dimension from side wall to centerline of lavatory in Unit 117C.</i></p>	<p>The lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 120B bathroom.</td><td>18-3/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 120B bathroom.	18-3/4	<p>Install removable base cabinet at lavatory.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 120B bathroom.	18-3/4						



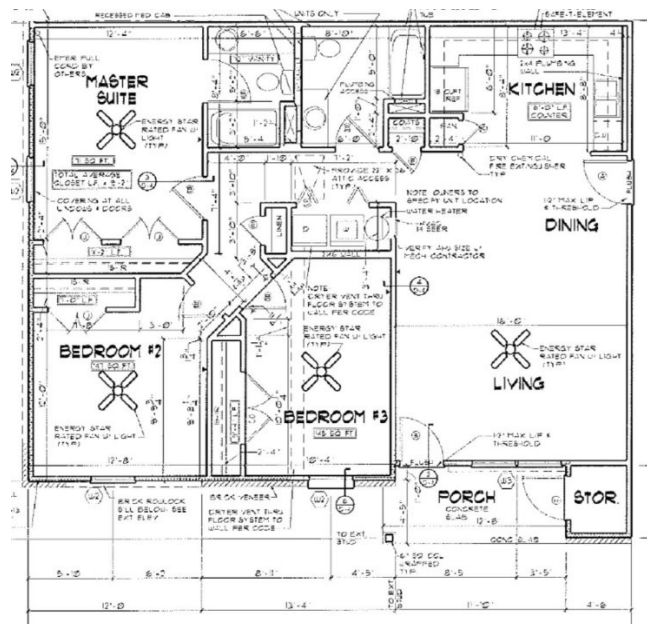
*Vanity base interior in Unit 120B.*



*Vanity base in Unit 120B.*

**UNIT TYPE: 3 Bedroom, 2 Bathroom**


Surveyed Unit 109B, 116C - Typical for 15 total units



*Unit Plan.*

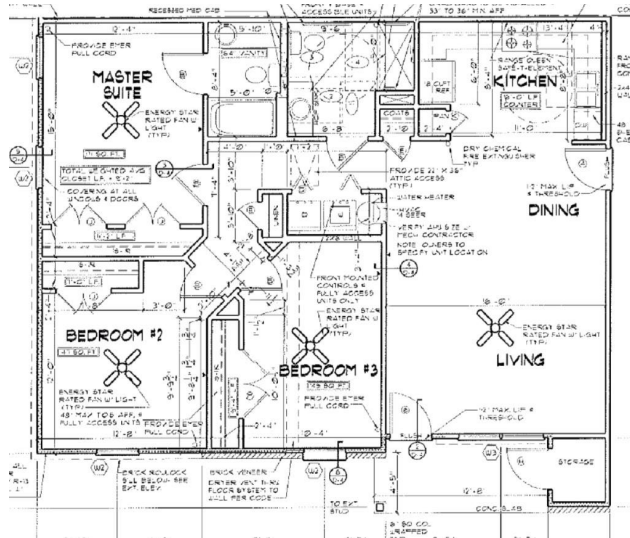
*Note: unit bathrooms evaluated using Option B requirements for the hall bath.*

**Inaccessible Features:**

23	 <p><i>Storage door threshold exterior side at Unit 116C.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><td>Location</td><td>Height (inches)</td></tr><tr><td>Unit 116C, storage</td><td>1-1/2</td></tr></table>	Location	Height (inches)	Unit 116C, storage	1-1/2	<p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
Location	Height (inches)						
Unit 116C, storage	1-1/2						






**UNIT TYPE: 3 Bedroom, 2 Bathroom (Type A)**  
**Surveyed Unit 104B – Typical for 1 unit only**



*Unit Plan.*

**Inaccessible Features:**

24	 <p><i>Storage door threshold exterior side at Unit 104B.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><td>Location</td><td>Height (inches)</td></tr><tr><td>Unit 104B, storage</td><td>1-1/2</td></tr></table>	Location	Height (inches)	Unit 104B, storage	1-1/2	<p>At storage doors:</p> <p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
Location	Height (inches)						
Unit 104B, storage	1-1/2						

25	 <p><i>Lavatory in Unit 104B.</i></p>  <p><i>Dimension from side wall to centerline of lavatory.</i></p>	<p>The lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 104B bathroom.</td><td>14-1/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 104B bathroom.	14-1/4	<p>Install removable base cabinet at lavatory.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 104B bathroom.	14-1/4						

**APPENDIX D**  
**RETROFIT PLAN FOR AZALEA GARDENS APARTMENTS**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 1991 ADAAG

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

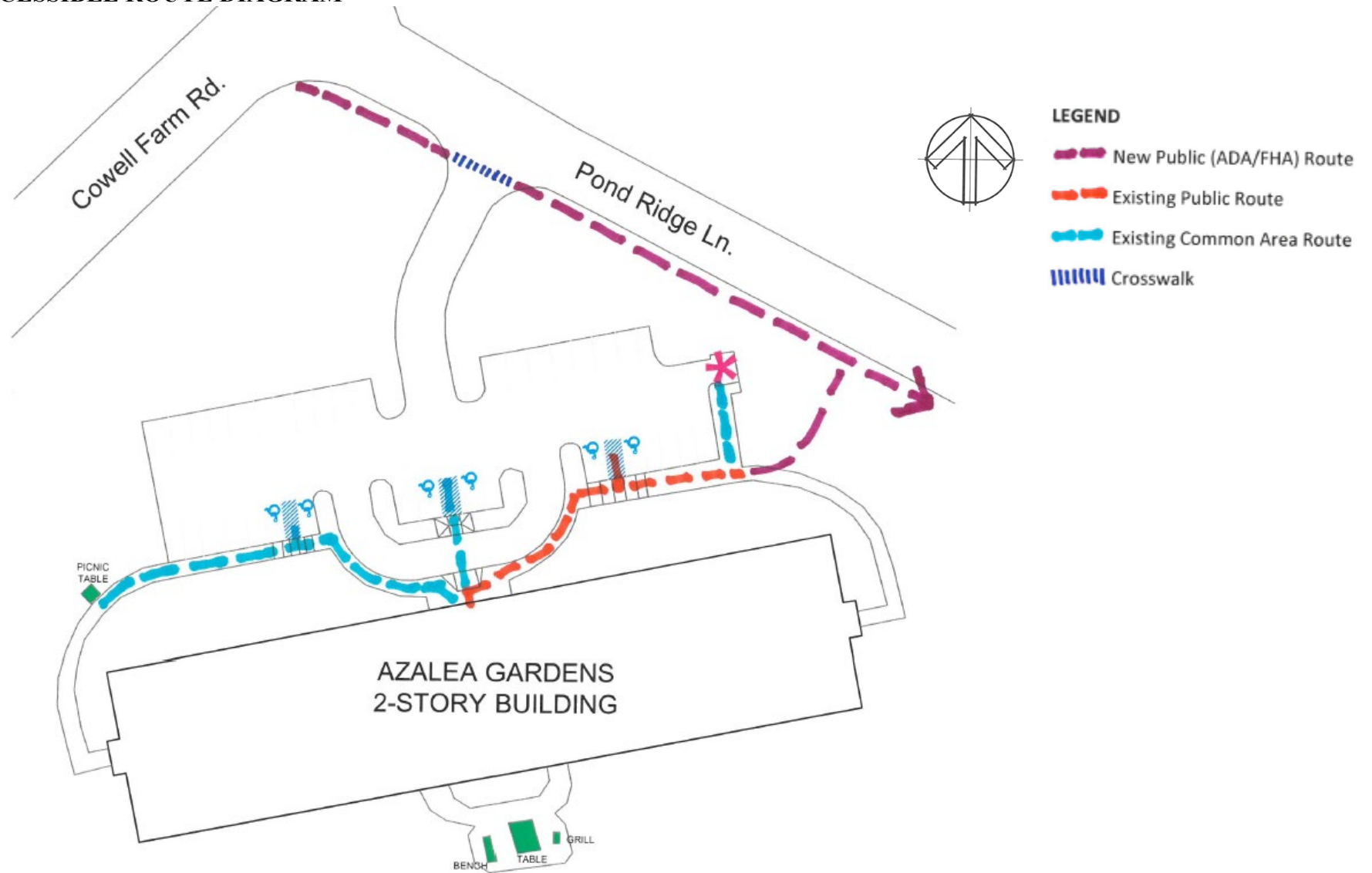
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Submit requests for changes and adjustments to routes for approval prior to starting design or construction work. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.



## ACCESSIBLE ROUTE DIAGRAM









Azalea Gardens Apartments Retrofit Plan – 2

## A. PUBLIC AND COMMON USE AREAS



Note: the parking spaces centered on the entry are marked “Residents Only”. The space to the east was marked “Van Accessible” and is therefore evaluated as the public parking space and vehicular access route. See diagram at Section B.

	Lack of Accessible Route		
1	 <i>Route along drive lane looking towards street.</i>  <i>Route along drive lane looking towards building.</i>	There is no accessible route between the public street, public right-of-way, pedestrian site arrival points, and the accessible building entrance.	Provide new sidewalk and curb ramps from Cowell Farm Rd. along Pond Ridge Lane to the existing walk east of the main building entry (see diagram).





	Inaccessible Features at Public Route & Entry																				
2	<div></div> <div><i>Curb ramp measurement location.</i></div> <div></div> <div><i>Cross slope.</i></div> <div></div> <div><i>Route at east side of front door</i></div>	<p>Cross slopes at sidewalks are more than 2.0% (maximum 2.0% allowed).</p> <table><tr><th><u>Location</u></th><th><u>Slope</u></th></tr><tr><td>Northeast of building, west of the curb ramp</td><td>4.2%</td></tr><tr><td>Northeast of building west of the curb ramp</td><td>3.2%</td></tr><tr><td>Northeast of building west of the curb ramp</td><td>4.2%</td></tr><tr><td>Crossing east curb ramp</td><td>4.2%</td></tr><tr><td>Walk at east circle drive</td><td>3.1%</td></tr><tr><td>Walk at east circle drive</td><td>3.6%</td></tr><tr><td>Walk at east circle drive</td><td>4.7%</td></tr><tr><td>East of building entry</td><td>3.9%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Northeast of building, west of the curb ramp	4.2%	Northeast of building west of the curb ramp	3.2%	Northeast of building west of the curb ramp	4.2%	Crossing east curb ramp	4.2%	Walk at east circle drive	3.1%	Walk at east circle drive	3.6%	Walk at east circle drive	4.7%	East of building entry	3.9%	<p>Replace existing curb ramps and sidewalks at east and west parking spaces. Replace sidewalk sections at entry area and east side of the drop-off area.</p>
<u>Location</u>	<u>Slope</u>																				
Northeast of building, west of the curb ramp	4.2%																				
Northeast of building west of the curb ramp	3.2%																				
Northeast of building west of the curb ramp	4.2%																				
Crossing east curb ramp	4.2%																				
Walk at east circle drive	3.1%																				
Walk at east circle drive	3.6%																				
Walk at east circle drive	4.7%																				
East of building entry	3.9%																				



	 <p><i>Cross slope.</i></p>		
3	 <p><i>Entrance door location.</i></p>  <p><i>Slope at entrance door approach.</i></p>	<p>Building main entrance doors have maneuvering clearances slopes as high as 4.9% to 7.3% (maximum 2% allowed).</p>	<p>Replace concrete at approach to entry door area. Coordinate with new concrete noted in Item 2 above.</p>



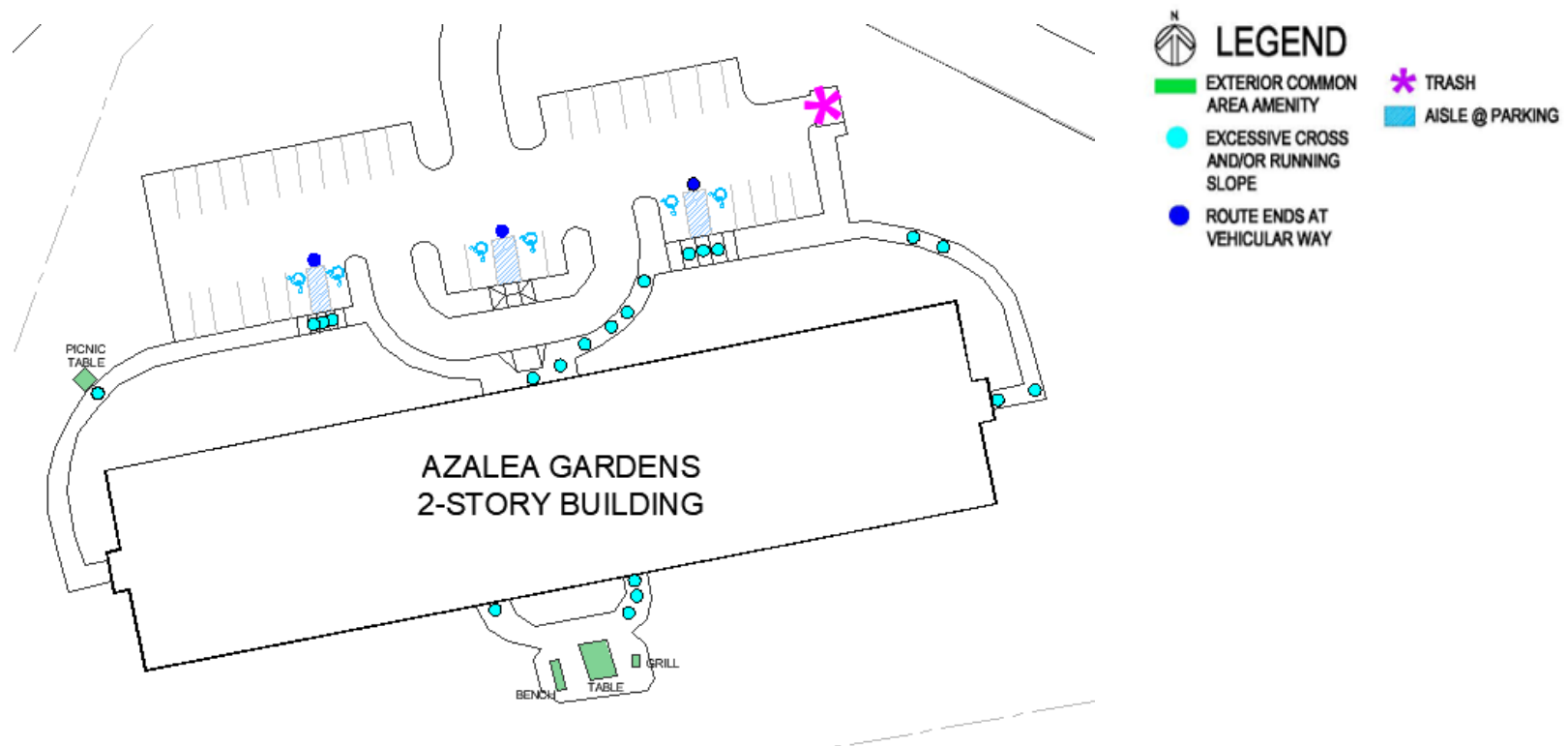
4	 <p><i>Handrail at ramp leading to building entrance.</i></p>  <p><i>Handrail at ramp leading to building entrance.</i></p>	<p>The ramp handrails at the main entry extend less than 12 inches beyond the ramp surface (minimum 12 inches required).</p> <table><tr><th><u>Location</u></th><th><u>(inches)</u></th></tr><tr><td>Entrance ramp</td><td>1-1/2</td></tr><tr><td>Entrance ramp</td><td>1-1/4</td></tr><tr><td>Entrance ramp</td><td>4</td></tr><tr><td>Entrance ramp</td><td>4</td></tr></table>	<u>Location</u>	<u>(inches)</u>	Entrance ramp	1-1/2	Entrance ramp	1-1/4	Entrance ramp	4	Entrance ramp	4	<p>Remove handrails. Confirm that rise is 6 inches or less.</p> <p>Note: if ramp rise exceeds 6 inches or if handrails are desired by property management, install new handrails with 12 inch extensions.</p>
<u>Location</u>	<u>(inches)</u>												
Entrance ramp	1-1/2												
Entrance ramp	1-1/4												
Entrance ramp	4												
Entrance ramp	4												








5	<div></div> <div><i>Parking aisle location</i></div> <div></div> <div><i>Running slope at parking aisle.</i></div>	<div>Designated van accessible parking access aisle has slopes greater than 2.0% (maximum 2% allowed).</div> <div><table><tr><th>Location</th><th>Slope</th></tr><tr><td>Van Space (near foot of aisle)</td><td>3.7%</td></tr><tr><td>Van Space (2 locations)</td><td>3.4%</td></tr></table></div>	Location	Slope	Van Space (near foot of aisle)	3.7%	Van Space (2 locations)	3.4%	<div>Repave/overlay asphalt at parking space and access aisle. Restripe parking space and access aisle.</div>
Location	Slope								
Van Space (near foot of aisle)	3.7%								
Van Space (2 locations)	3.4%								
6	<div></div> <div><i>Parking space location.</i></div> <div></div> <div><i>Running slope at parking space.</i></div>	<div>Designated van accessible parking space has slopes greater than 2.0% (maximum 2% allowed).</div> <div><table><tr><th>Location</th><th>Slope</th></tr><tr><td>Van Space</td><td>3.3%</td></tr><tr><td>Van Space</td><td>4.2%</td></tr></table></div>	Location	Slope	Van Space	3.3%	Van Space	4.2%	<div>Repave/overlay asphalt at parking space and access aisle. Restripe parking space and access aisle.</div>
Location	Slope								
Van Space	3.3%								
Van Space	4.2%								



	Inaccessible Restroom Features		
7	 <p><i>Dimension from toilet side wall to vanity.</i></p>  <p><i>Dimension from toilet side wall to vanity.</i></p>	Clear space at the toilet clearance is 57-3/4 inches wide (minimum 60 inches by 56 inches required by 2010 ADA).	Relocate/replace lavatory as required to provide 60 inch wide clear space at toilet.


**B. INACCESSIBLE FEATURES AT COMMON AREA ROUTES**




	Inaccessible Cross Slopes														
8	<div></div> <div><i>Location of cross slope condition northwest of building.</i></div> <div></div> <div><i>Cross slope.</i></div>	<p>Cross slopes at sidewalks and curb ramps are more than 2.0% (maximum 2.0% allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Slope</u></th></tr></thead><tbody><tr><td>Northwest of building, east of the curb ramp</td><td>4.4%</td></tr><tr><td>Crossing west curb ramp</td><td>4.0%</td></tr><tr><td>Northwest of building, west edge of the curb ramp</td><td>3.9%</td></tr><tr><td>Sidewalk south of building to door east of picnic area</td><td>4.1%</td></tr><tr><td>Sidewalk south of building to door east of picnic area</td><td>3.7%</td></tr></tbody></table>	<u>Location</u>	<u>Slope</u>	Northwest of building, east of the curb ramp	4.4%	Crossing west curb ramp	4.0%	Northwest of building, west edge of the curb ramp	3.9%	Sidewalk south of building to door east of picnic area	4.1%	Sidewalk south of building to door east of picnic area	3.7%	<p>Replace sidewalks and curb ramps at accessible route(s) as required to retrofit sections with excessive cross slopes.</p>
<u>Location</u>	<u>Slope</u>														
Northwest of building, east of the curb ramp	4.4%														
Crossing west curb ramp	4.0%														
Northwest of building, west edge of the curb ramp	3.9%														
Sidewalk south of building to door east of picnic area	4.1%														
Sidewalk south of building to door east of picnic area	3.7%														

	Width of Route								
9	<div><p><i>Picnic/grill area.</i></p><p><i>Route between grill and picnic table.</i></p><p><i>Width between grill and table.</i></p></div>	<p>The clear width of the route at the picnic area grill is 27 inches (minimum 36 inches required).</p> <p>Grill lacks 30 inch by 48 inch clear floor space for approach and use of the amenity (clear floor space is required).</p> <table><tr><th><u>Location</u></th><th><u>Width (inches)</u></th></tr><tr><td>Width between grill and table</td><td>32-1/2</td></tr><tr><td>Width between grill tray and table</td><td>27</td></tr></table>	<u>Location</u>	<u>Width (inches)</u>	Width between grill and table	32-1/2	Width between grill tray and table	27	Relocate the picnic grill.
<u>Location</u>	<u>Width (inches)</u>								
Width between grill and table	32-1/2								
Width between grill tray and table	27								

	 <p><i>Tray extends beyond the face of the grill.</i></p>		
	<b>Protruding Objects</b>		
10	 <p><i>Depth of projection.</i></p>	Clubroom wall brackets project 6-1/2 inches into the circulation path at a height of 60 inches above the floor (maximum 4 inches allowed at heights greater than 27 inches and less than 80 inches above the circulation path).	Remove decorative brackets.

	 <p><i>Location of brackets.</i></p>		
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### C. COMMON USE AREAS

	<b>Inaccessible Common Area Feature</b>		
11	 <p><i>Picnic table along sidewalk west of building.</i></p>	<p>The route to the east end of the north picnic table is not stable, firm and slip resistant. The clear space at the west end of the picnic table is partly paved and partly grass with a level change at the change of material. There is no seat or access to this amenity.</p>	<p>Install concrete slab under picnic table area.</p>



*Close up of west end seating space overhanging sidewalk.*



#### **D. COVERED DWELLING UNITS**

Note: Lavatory and sink cabinets in the standard units have varying conditions some of which have cleats added for knee space panels. However, the cabinets do not seem to be removable and, in many units, the trim at the base continues around the toe kick even where cleats have been added. The cabinets are not removable without the use of specialized tools or knowledge.



*Base trim across the toe kick at the lavatory base, Unit 109. (0705.jpg).*



*Base trim across the toe kick at the sink base, Unit 204. (0777.jpg).*

Number of units: 36 (two designated accessible units)

1 Bedroom / 1 Bath Unit = 26

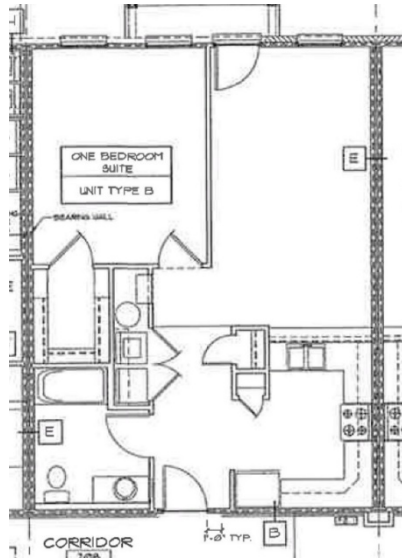
1 Bedroom / 1 Bath Unit (Accessible) = 2

2 Bedroom / 2 Bath Unit = 7

2 Bedroom / 2 Bath Unit (Accessible) = 1

Totals shown above are based on life safety floor plans. Actual number of designated accessible units may vary.

## Typical Inaccessible Unit Features Common to All Residential Buildings/Units




The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.


### UNIT TYPE: 1 Bedroom, 1 Bathroom

Surveyed Unit 105 and Unit 204 – typical for 26 total units

*Unit Plan. (PENDERGRAPH03534).*

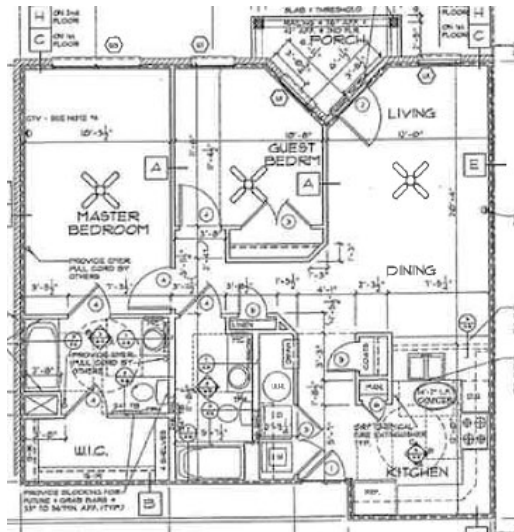
### Inaccessible Features:

12	 <p><i>Patio door threshold interior side at Unit 204</i></p>	<p>Patio door interior threshold is 3/4 inches high at the front edge and is not beveled (maximum 1/4 inch vertical edge allowed with no bevel). The overall height of the threshold is 1-3/8 inches (maximum 3/4 inch height allowed).</p>	<p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS</p>
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			THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”						
13	 <p><i>Sink in Unit 105.</i></p>	<p>Kitchen sink centerlines are less than 24 inches to the adjacent countertop (minimum 24 inches required) and the base cabinet is not removable.</p> <table> <tr> <th><u>Location</u></th> <th><u>Centerline (inches)</u></th> </tr> <tr> <td>Unit 105, kitchen</td> <td>17-3/4</td> </tr> <tr> <td>Unit 204, kitchen</td> <td>17-1/2</td> </tr> </table>	<u>Location</u>	<u>Centerline (inches)</u>	Unit 105, kitchen	17-3/4	Unit 204, kitchen	17-1/2	<p>Install removable base with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Centerline (inches)</u>								
Unit 105, kitchen	17-3/4								
Unit 204, kitchen	17-1/2								



**UNIT TYPE: 2 Bedroom, 2 Bathroom**

Surveyed Unit 109 and Unit 214 – typical for 7 units



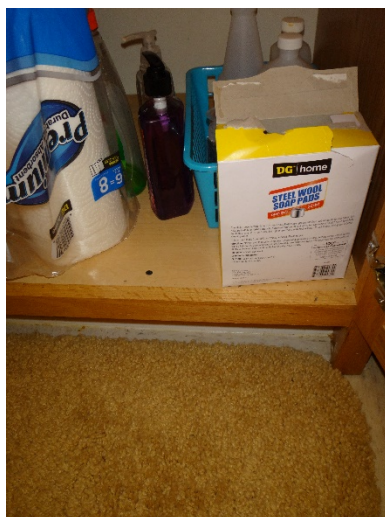
*Unit Plan. (PENDERGRAPH03535).*

**Inaccessible Features:**

14	 <p><i>Patio door threshold interior side at Unit 214.</i></p>	Patio door interior threshold is 1-1/8 inches high at the front edge and is not beveled (maximum 1/4 inch vertical edge allowed with no bevel). The overall height of the threshold is 1-3/8 inches (maximum 3/4 inch height allowed).	Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”						
15	 <p><i>Center line of lavatory, Unit 214.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><td><u>Location</u></td><td><u>Distance (inches)</u></td></tr><tr><td>Unit 109, master bathroom</td><td>18-1/2</td></tr><tr><td>Unit 214, master bathroom</td><td>18-1/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 109, master bathroom	18-1/2	Unit 214, master bathroom	18-1/4	<p>Install removable base with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>								
Unit 109, master bathroom	18-1/2								
Unit 214, master bathroom	18-1/4								



*Base cabinet interior of lavatory in Unit 214.*



*Base cabinet of lavatory in Unit 214.*

16



*Kitchen sink.*



*Sink centerline, Unit 109.*

Kitchen sink centerlines are less than 24 inches to the adjacent countertop (minimum 24 inches required) and the base cabinet is not removable.

<u>Location</u>	<u>Centerline (inches)</u>
Unit 109, kitchen	17-1/2
Unit 214, kitchen	similar

Install removable base with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.

Attach a durable-material placard stating:  
“THIS CABINET IS REMOVABLE FOR  
PERSONS WITH DISABILITIES.  
CONTACT MANAGEMENT.”

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**APPENDIX E**  
**RETROFIT PLAN FOR LANIER POINTE I**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 1991 ADAAG

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

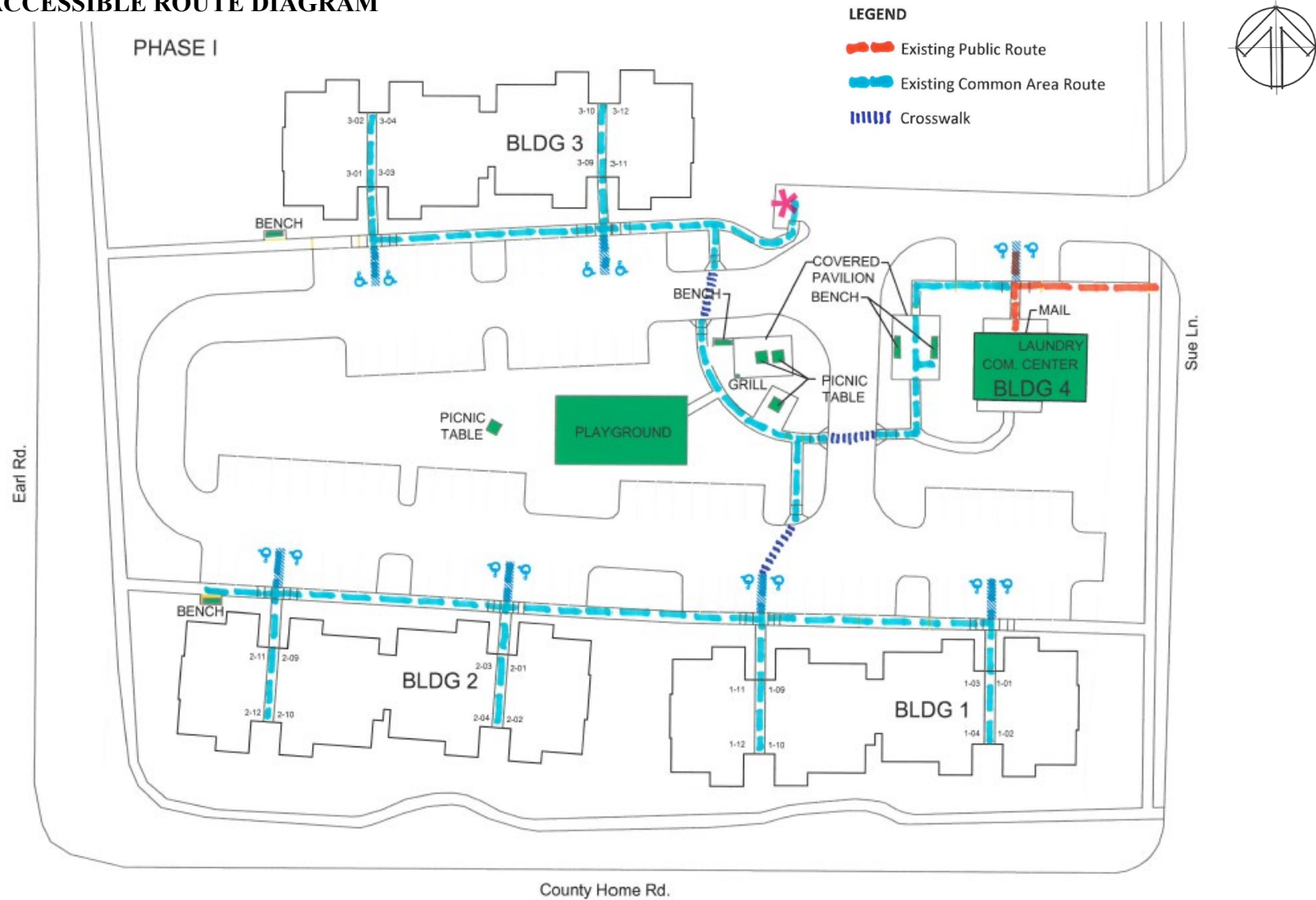
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.

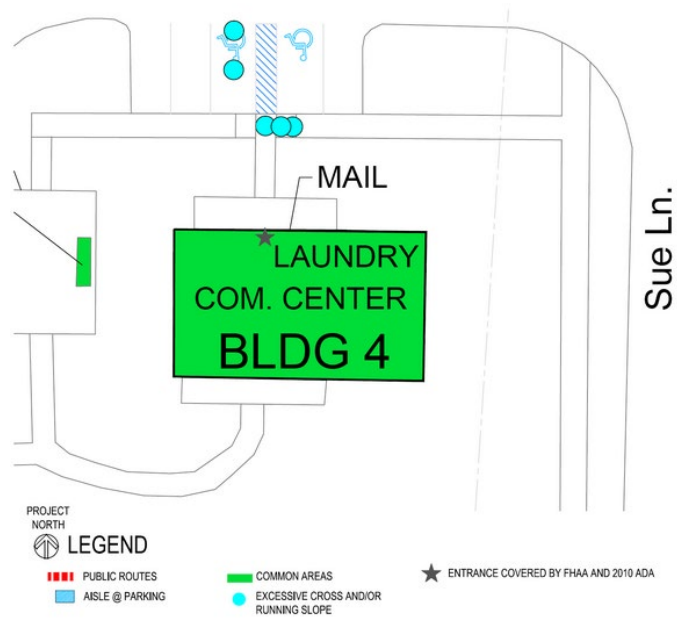
# ACCESSIBLE ROUTE DIAGRAM



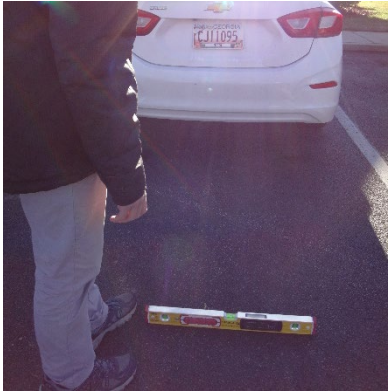

Lanier Pointe I Retrofit Plan – 2



**A. PUBLIC AND COMMON AREA FEATURES (ADA & FHA)**



Leasing Office/Building 4



Lanier Pointe I Retrofit Plan – 3

	Inaccessible Parking Features								
1	<div><p><i>Measuring parking space.</i></p><p><i>Cross slope at parking space.</i></p></div>	<p>Designated accessible parking space (see above) has cross slopes greater than 2.0% (maximum 2% allowed).</p> <table><tr><th><u>Location</u></th><th><u>Slope</u></th></tr><tr><td>Building 4/Leasing Office, west designated space, foot</td><td>5.9%</td></tr><tr><td>Building 4/Leasing Office west designated space, middle</td><td>3.3%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Building 4/Leasing Office, west designated space, foot	5.9%	Building 4/Leasing Office west designated space, middle	3.3%	<p>Repave/overlay asphalt at parking space and access aisle. Restripe parking space and access aisle.</p>
<u>Location</u>	<u>Slope</u>								
Building 4/Leasing Office, west designated space, foot	5.9%								
Building 4/Leasing Office west designated space, middle	3.3%								

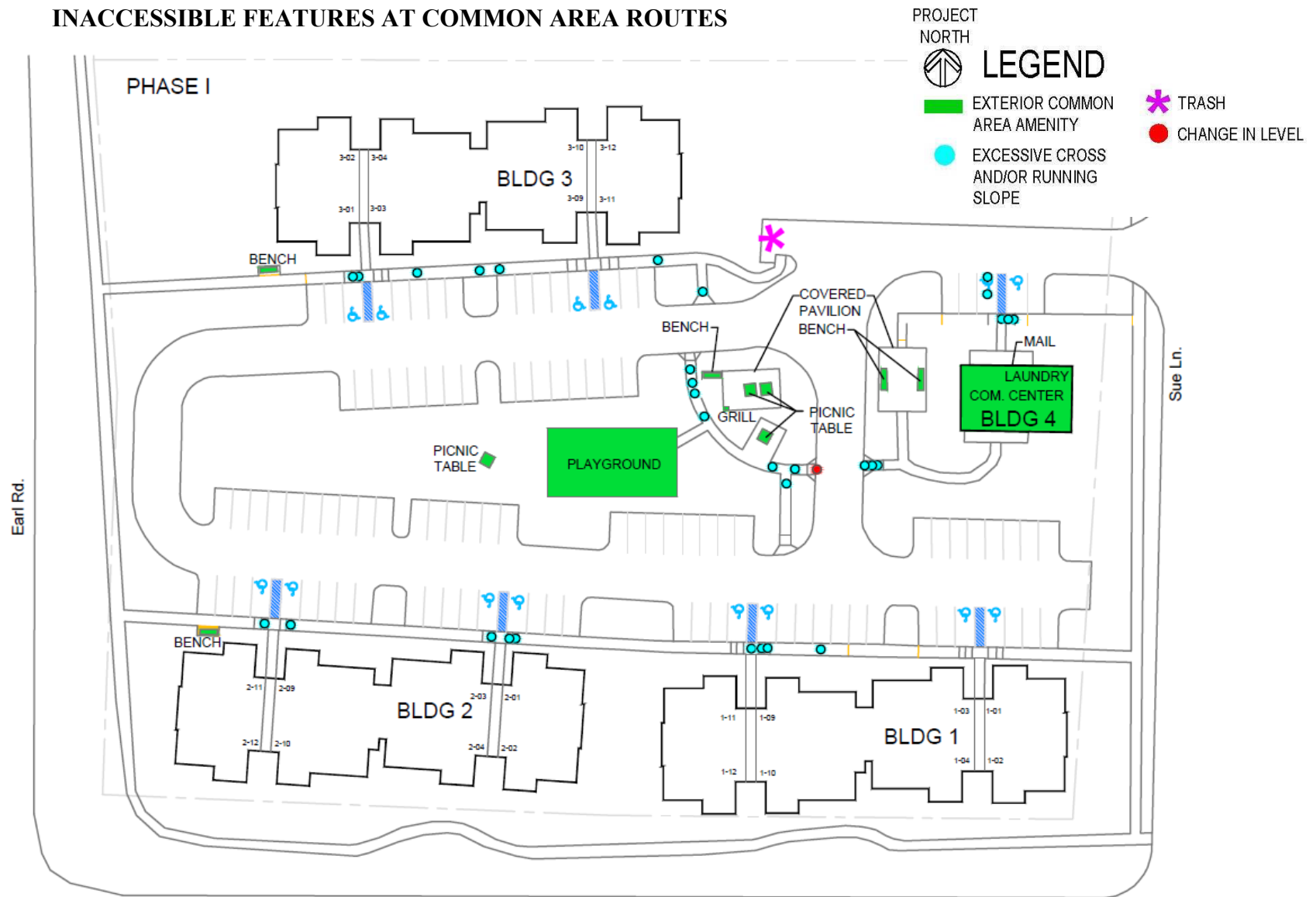
	Inaccessible Surfaces and Slopes						
2	 <p><i>East curb ramp north of Building 4.</i></p>  <p><i>Cross slope</i></p>	<p>Cross slopes at the east curb ramp/sidewalk north of Leasing Office/Clubhouse are more than 2.0% (maximum 2.0% allowed).</p> <table> <tr> <th>Location</th> <th>Slope</th> </tr> <tr> <td>North of Building 4: East ramp, top</td> <td>3.6%</td> </tr> </table>	Location	Slope	North of Building 4: East ramp, top	3.6%	<p>Replace east curb ramp.</p>
Location	Slope						
North of Building 4: East ramp, top	3.6%						

	<b>Inaccessible Door Hardware</b>								
3	 <p><i>Hardware at unisex restroom door.</i></p>	<p>The Leasing Office/Community Room restroom door has hardware which requires tight grasping, pinching, or twisting of the wrist to operate the privacy lock (not allowed).</p>	<p>Install lever hardware with push button privacy lock that releases when lever is operated.</p>						
4	 <p><i>Drinking fountain in leasing office hall.</i></p>	<p>The standing height drinking fountain protrudes more than 4 inches into the circulation path (maximum 4 inches allowed).</p> <table> <tr> <td><u>Location</u></td> <td><u>Protrusion (inches)</u></td> </tr> <tr> <td>Leasing Office</td> <td></td> </tr> <tr> <td>Standing height fountain</td> <td>18-1/2</td> </tr> </table>	<u>Location</u>	<u>Protrusion (inches)</u>	Leasing Office		Standing height fountain	18-1/2	<p>Install shroud or other cane detectable barrier. Barrier may not obstruct required knee and toe space at lower unit.</p>
<u>Location</u>	<u>Protrusion (inches)</u>								
Leasing Office									
Standing height fountain	18-1/2								





*Protruding height and lower fountain (standing fountain is approximately 3 inches higher).*



## B. INACCESSIBLE FEATURES AT COMMON AREA ROUTES





Lanier Pointe I Retrofit Plan – 8





	Inaccessible Changes in Level		
5	 <p><i>Curb ramp east of playground.</i></p>  <p><i>Change in level.</i></p>	<p>The route has a 1-1/4 inch change in level at the bottom of the curb ramp leading to the playground from the clubhouse (maximum 1/2 inch with bevel allowed).</p>	<p>Repave asphalt surface even with surface of curb ramp concrete.</p>

	<b>Inaccessible Slopes at Sidewalks</b>						
6	<div><p><i>Route by Building 1.</i></p><p><i>Cross slope.</i></p></div>	<p>Cross slopes of routes are more than 2% (maximum 2% allowed).</p> <table><tr><th><u>Location</u></th><th><u>Slope</u></th></tr><tr><td>Building 1 middle of west row of parking</td><td>3.4%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Building 1 middle of west row of parking	3.4%	<p>Replace sidewalks at accessible route(s) as required to retrofit sections with excessive cross slope.</p>
<u>Location</u>	<u>Slope</u>						
Building 1 middle of west row of parking	3.4%						

	<b>Inaccessible Curb Ramp Features</b>																
7	<div><p><i>Curb ramp at west entry to Building 3.</i></p><p><i>Cross slope.</i></p></div>	<p>The cross slope of the curb ramp is more than 2.0% (maximum 2.0% allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Slope</u></th></tr></thead><tbody><tr><td>Building 4, bottom of west curb ramp</td><td>3.4%</td></tr><tr><td>West of Building 4, crossing to playground, top of ramp</td><td>3.4%</td></tr><tr><td>Building 3, west entry, bottom of west ramp</td><td>3.7%</td></tr><tr><td>Building 1, west entry, bottom of east ramp</td><td>3.1%</td></tr><tr><td>Building 2, east entry, bottom of east ramp</td><td>3.2%</td></tr><tr><td>Building 2, west entry, bottom of west ramp</td><td>3.1%</td></tr></tbody></table>	<u>Location</u>	<u>Slope</u>	Building 4, bottom of west curb ramp	3.4%	West of Building 4, crossing to playground, top of ramp	3.4%	Building 3, west entry, bottom of west ramp	3.7%	Building 1, west entry, bottom of east ramp	3.1%	Building 2, east entry, bottom of east ramp	3.2%	Building 2, west entry, bottom of west ramp	3.1%	<p>Replace curb ramps at accessible route(s) as required to retrofit sections with excessive cross slope.</p>
<u>Location</u>	<u>Slope</u>																
Building 4, bottom of west curb ramp	3.4%																
West of Building 4, crossing to playground, top of ramp	3.4%																
Building 3, west entry, bottom of west ramp	3.7%																
Building 1, west entry, bottom of east ramp	3.1%																
Building 2, east entry, bottom of east ramp	3.2%																
Building 2, west entry, bottom of west ramp	3.1%																
	<b>Crosswalks</b>																
8	<p><i>See Accessible Route Diagram.</i></p>	<p>Crosswalks at vehicular drives are incorporated into the accessible route(s).</p>	<p>Stripe crosswalks.</p>														

**C. COMMON USE AREAS**

	<b>Inaccessible Door Features</b>																		
9	<div></div> <p><i>Hardware at fitness room door.</i></p>	Fitness room door hardware requires tight grasping, pinching, or twisting of the wrist (not allowed).	Install lever hardware with push button privacy lock that releases when lever is operated.																
	<b>Inaccessible Mail Center Features</b>																		
10		<p>Of 49 mailboxes at this location, 21 mailbox locations are above reach range (maximum 54 inches allowed). Method of assigning mailboxes is not known.</p> <table><thead><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Box 1</td><td>67-3/4</td></tr><tr><td>Box 2</td><td>65</td></tr><tr><td>Box 3</td><td>61-3/4</td></tr><tr><td>Box 4</td><td>58</td></tr><tr><td>Box 12</td><td>67-3/4</td></tr><tr><td>Box 13</td><td>64-1/2</td></tr><tr><td>Box 14</td><td>61-1/4</td></tr></tbody></table>	<u>Location</u>	<u>Height (inches)</u>	Box 1	67-3/4	Box 2	65	Box 3	61-3/4	Box 4	58	Box 12	67-3/4	Box 13	64-1/2	Box 14	61-1/4	Reconfigure mail box frames or mailbox assignments such that all covered dwelling units are assigned mail boxes that have locks within reach range.
<u>Location</u>	<u>Height (inches)</u>																		
Box 1	67-3/4																		
Box 2	65																		
Box 3	61-3/4																		
Box 4	58																		
Box 12	67-3/4																		
Box 13	64-1/2																		
Box 14	61-1/4																		

<p>Typical mailbox frame.</p>  <p>Height of sixth row from the bottom which are not within reach range.</p>	<table><tr><td>Box 15</td><td>58</td></tr><tr><td>Box 21</td><td>67-3/8</td></tr><tr><td>Box 22</td><td>65-1/7</td></tr><tr><td>Box 23</td><td>61-5/8</td></tr><tr><td>Box 24</td><td>58-1/4</td></tr><tr><td>Box 30</td><td>67-1/2</td></tr><tr><td>Box 31</td><td>65-1/8</td></tr><tr><td>Box 32</td><td>61-3/4</td></tr><tr><td>Box 33</td><td>58-5/8</td></tr><tr><td>Box 34</td><td>55-1/2</td></tr><tr><td>Box 41</td><td>67-3/4</td></tr><tr><td>Box 42</td><td>64-1/2</td></tr><tr><td>Box 43</td><td>61-1/2</td></tr><tr><td>Box 44</td><td>58-1/4</td></tr></table>	Box 15	58	Box 21	67-3/8	Box 22	65-1/7	Box 23	61-5/8	Box 24	58-1/4	Box 30	67-1/2	Box 31	65-1/8	Box 32	61-3/4	Box 33	58-5/8	Box 34	55-1/2	Box 41	67-3/4	Box 42	64-1/2	Box 43	61-1/2	Box 44	58-1/4	
Box 15	58																													
Box 21	67-3/8																													
Box 22	65-1/7																													
Box 23	61-5/8																													
Box 24	58-1/4																													
Box 30	67-1/2																													
Box 31	65-1/8																													
Box 32	61-3/4																													
Box 33	58-5/8																													
Box 34	55-1/2																													
Box 41	67-3/4																													
Box 42	64-1/2																													
Box 43	61-1/2																													
Box 44	58-1/4																													

#### **D. COVERED DWELLING UNITS**

Lanier Pointe Phase I has three 2-story residential buildings with four 2-bedroom units and four 3-bedroom units per floor. All 24 first-floor units are covered by FHA.

Unit counts:

24 total 2 Bedroom / 2 Bath Units. Includes 12 covered units 4 of which are Type A units.

24 total 3 Bedroom / 2 Bath Units. Includes 12 covered units 2 of which are Type A units.

48 total units

24 total covered units (6 designated accessible units)

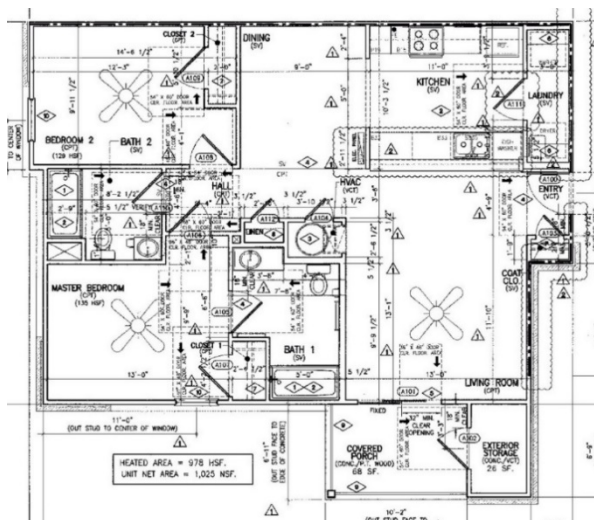
Of the units surveyed, Unit 2-03 is designated “ADA” on the plans but lacks accessible features; Unit 2-09 is not designated “ADA” but includes accessible features. Configuration of units that were not surveyed is not known.

#### **Typical Inaccessible Unit Features Common to All Residential Buildings/Units**

The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.

# UNIT TYPE: 2 Bedroom, 2 Bathroom

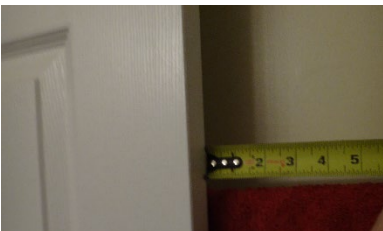
Surveyed Units 2-11 and 2-12 – Typical for 8 total units

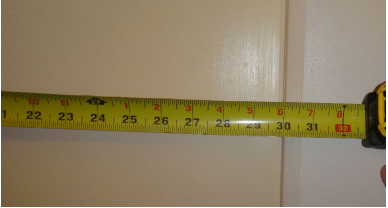



Unit Plan. (PENDERGRAPH04113).



## Inaccessible Features:

**NOTE:** if retrofit work at master baths results in baths compliant with Option B requirements, then retrofit work at hall baths may be deleted from the scope of work.

11		<p>The clear floor space in the bathroom is less than 48 inches long (minimum 30 inches by 48 inches required).</p> <table><thead><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr></thead><tbody><tr><td>Unit 2-11, hall bathroom (edge of door to face of tub)</td><td>30</td></tr></tbody></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2-11, hall bathroom (edge of door to face of tub)	30	<p>Reverse the door so that it does not swing into the bathroom.</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 2-11, hall bathroom (edge of door to face of tub)	30						

<p><i>Tape at edge of bathroom door leaf in open position at Unit 2-11.</i></p>  <p><i>Dimension from door leaf in open position to edge of bathtub surround</i></p>  <p><i>Measurement from wall to nose of toilet.</i></p>	<p>Unit 2-12, hall bathroom      30-5/8 (edge of door to face of tub)</p>	
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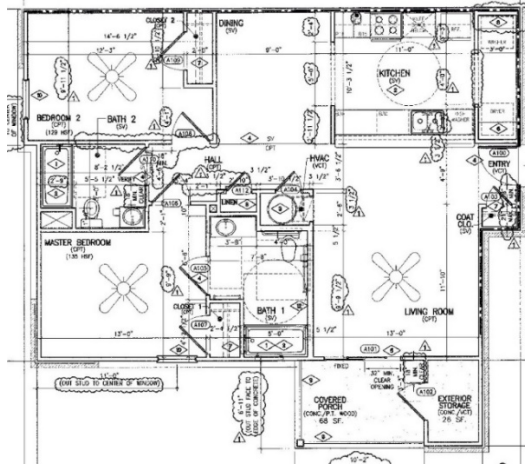
12	 <p><i>Bathtub/shower surround in Unit 2-11.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>										
13	 <p><i>Dimension from side wall to centerline of lavatory in Unit 2-11 master bathroom.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table> <tr> <th><u>Location</u></th> <th><u>Distance (inches)</u></th> </tr> <tr> <td>Unit 2-11, master bathroom</td> <td>21-1/4</td> </tr> <tr> <td>Unit 2-11, hall bathroom</td> <td>12-5/8</td> </tr> <tr> <td>Unit 2-12, hall bathroom</td> <td>12-1/2</td> </tr> <tr> <td>Unit 2-12, master bathroom</td> <td>21-1/4</td> </tr> </table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2-11, master bathroom	21-1/4	Unit 2-11, hall bathroom	12-5/8	Unit 2-12, hall bathroom	12-1/2	Unit 2-12, master bathroom	21-1/4	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating:  “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>												
Unit 2-11, master bathroom	21-1/4												
Unit 2-11, hall bathroom	12-5/8												
Unit 2-12, hall bathroom	12-1/2												
Unit 2-12, master bathroom	21-1/4												



*Base of lavatory cabinet in  
Unit 2-11 master bathroom.*

**UNIT TYPE: 2 Bedroom, 2 Bathroom (Accessible)**

Surveyed Unit 2-01 – Typical for 4 total units






*Unit Plan. (PENDERGRAPH04116).*



*Note: master bath bathing fixture is a shower, not a tub*

**Inaccessible Features:**

**NOTE: if retrofit work at master baths results in baths compliant with Option B requirements, then retrofit work at hall baths may be deleted from the scope of work.**

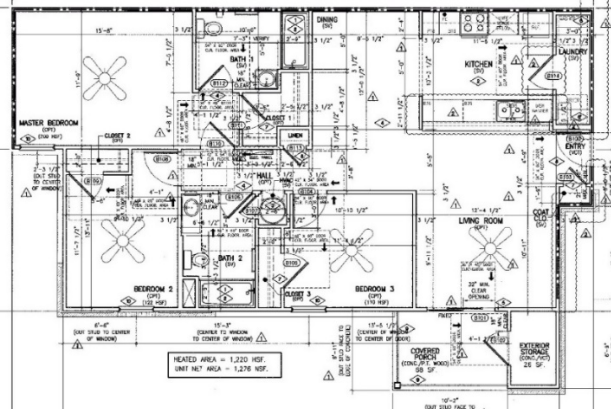
14		<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>
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	<i>Bathtub/shower surround in Unit 2-01.</i>						
15	<div><p><i>Dimension from side wall to centerline of lavatory in Unit 2-01 hall bathroom.</i></p><p><i>Interior and base of lavatory in Unit 2-01 hall bathroom</i></p></div>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><td><u>Location</u></td><td><u>Distance (inches)</u></td></tr><tr><td>Unit 2-01, hall bathroom.</td><td>12-1/2</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2-01, hall bathroom.	12-1/2	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>						
Unit 2-01, hall bathroom.	12-1/2						

<p>16</p>	 <p><i>Bathroom door leaf in open position at Unit 2-01.</i></p>  <p><i>Dimension from door leaf in open position to edge of bathtub surround.</i></p>	<p>The clear floor space in the hall bathroom is 29-1/2 long (minimum 48 inches required).</p>	<p>Reverse the door so that it does not swing into the bathroom.</p>
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**UNIT TYPE: 3 Bedroom, 2 Bathroom**


Surveyed Units 1-04 and 2-03 – Typical for 10 total units



*Unit Plan. (PENDERGRAPH04113).*

**Inaccessible Features:**

**NOTE:** if retrofit work at master baths results in baths compliant with Option B requirements, then retrofit work at hall baths may be deleted from the scope of work.

17	 <p><i>Bathtub/shower surround in Unit 2-03.</i></p>	<p>The shape of the bathtub surrounds preclude the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>
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18



*Dimension from side wall to centerline of lavatory in Unit 2-03 hall bathroom.*



*Interior of lavatory cabinet in Unit 2-03 hall bathroom.*

Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.

<u>Location</u>	<u>Distance (inches)</u>
Unit 1-04, master bathroom	16-1/4
Unit 2-03, hall bathroom	21
Unit 2-03, master bathroom	12-5/8

Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.

Attach a durable-material placard stating:  
“THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”

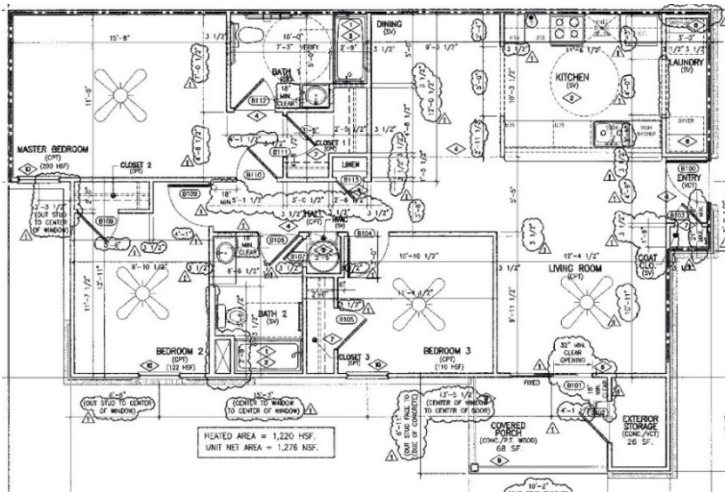


*Base of lavatory cabinet in  
Unit 2-03 hall bathroom*



# UNIT TYPE: 3 Bedroom, 2 Bathroom (Accessible)


Surveyed Unit 2-09 – Typical for 2 total units





Unit Plan. (PENDERGRAPH04116).

## Inaccessible Features:

**NOTE: if retrofit work at master baths results in baths compliant with Option B requirements, then retrofit work at hall baths may be deleted from the scope of work.**

19	 <p><i>Bathtub/shower surround in Unit 2-09.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>
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20	 <p><i>Dimension from side wall to toilet centerline in Unit 2-09 hall bathroom.</i></p>	<p>Hall bathroom toilet centerlines are 16-1/4 inches to the bathtub on the side opposite the direction of approach (minimum 18 inches required).</p>	<p>Install offset flange to shift toilet centerline to a position as close to 18 inches from the tub as is possible without requiring changes to the waste line or flooring.</p>
21	 <p><i>Dimension from side wall to centerline of lavatory in Unit 2-09 hall bathroom.</i></p>	<p>Hall bathroom lavatory centerlines are 21-3/8 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p>	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating:  <b>“THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</b></p>



*Interior of lavatory in Unit 2-09 hall bathroom.*

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**APPENDIX F**  
**RETROFIT PLAN FOR LANIER POINTE II**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 1991 ADAAG

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

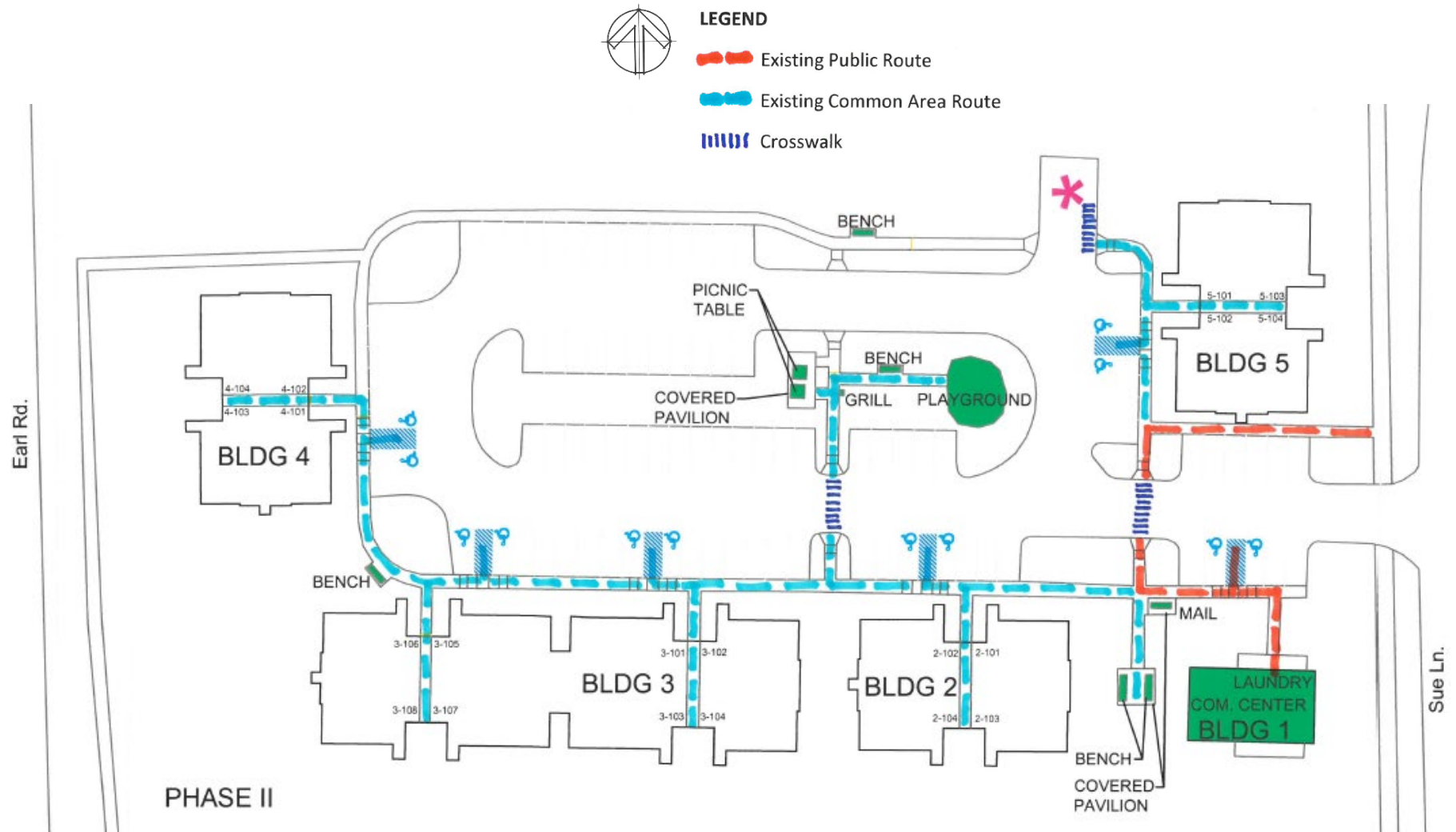
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.



Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.

## ACCESSIBLE ROUTE DIAGRAM



Lanier Pointe II Retrofit Plan – 2

**A. PUBLIC AND COMMON AREA FEATURES (ADA & FHA)**

	<b>Inaccessible Restroom Features</b>		
1	 <p><i>Flush control at women's restroom.</i></p>	Toilet flush control in the women's restroom is located on the side opposite the side of approach (not allowed).	Replace tank.
	<b>Protruding Object</b>		
2	 <p><i>Drinking fountain in community center.</i></p>	The leasing office/community center drinking fountain protrudes 19 inches into the circulation path at a height of 27-1/2 inches at the low fountain and at a height of approximately 31 inches at the high fountain (maximum 4 inch protrusion allowed at heights between 27 inches and 80 inches above the floor).	Install shroud or other cane detectable barrier. Barrier may not obstruct required knee and toe space at lower unit.




*Protruding height at low fountain.*

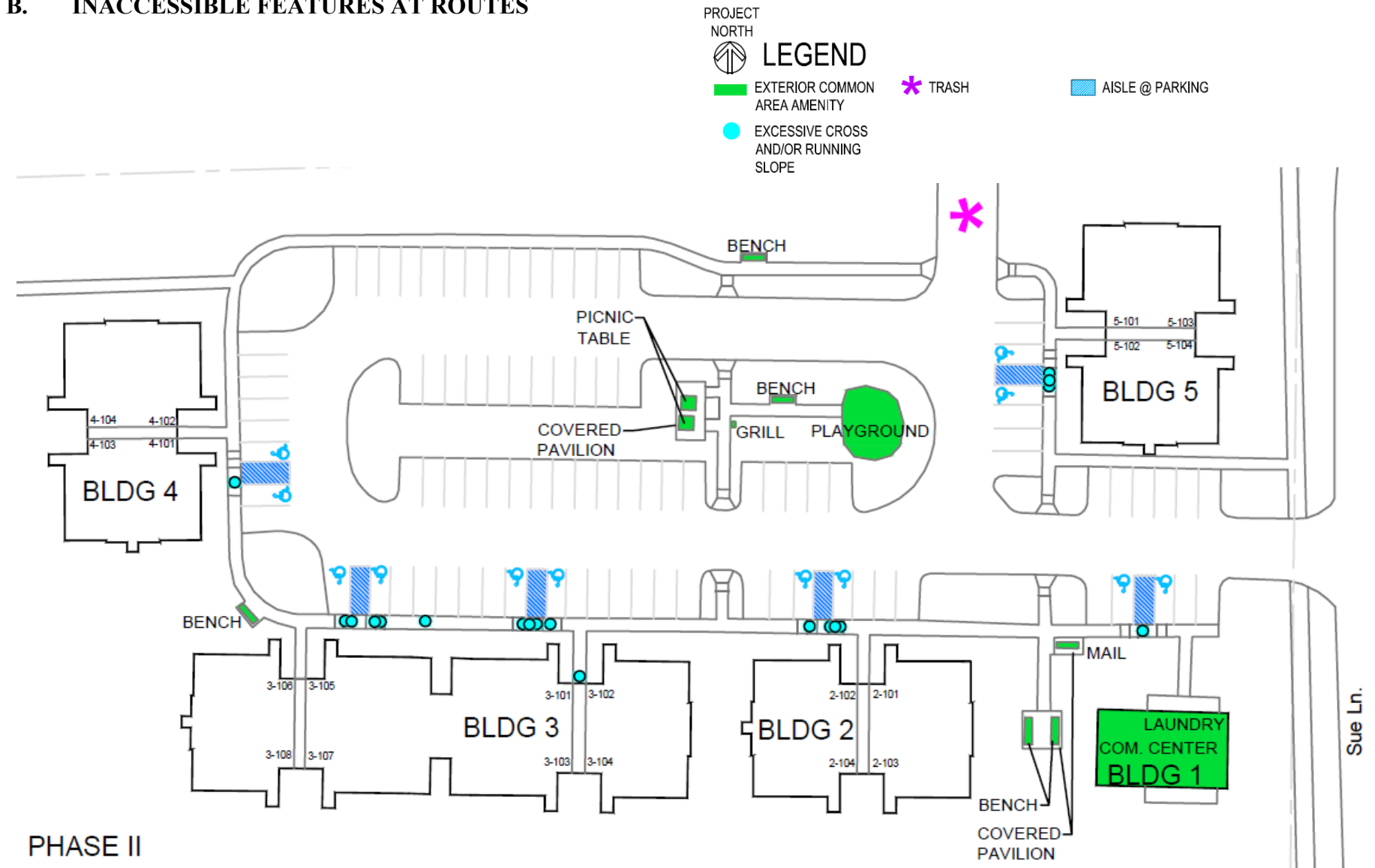


*Projection from the wall.*






	ADA						
3	 <p><i>Measurement of centerline of men's restroom sign.</i></p>	<p>The men's restroom signage is not centered on an 18 inch clear floor space (minimum 9 inches from door jamb to centerline of sign required).</p> <table><tr><th>Location</th><th>Centerline (inches)</th></tr><tr><td>Men's Restroom</td><td>7-1/2</td></tr></table>	Location	Centerline (inches)	Men's Restroom	7-1/2	Relocate sign.
Location	Centerline (inches)						
Men's Restroom	7-1/2						

## B. INACCESSIBLE FEATURES AT ROUTES



Lanier Pointe II Retrofit Plan – 6

	<b>Lack of Accessible Route</b>		
4	 <p><i>Dumpster location at the end of a vehicular lane.</i></p>	There is no accessible route to the dumpsters (accessible route is required). Dumpster enclosure is at the end of a vehicular lane.	Stripe accessible route to dumpster from east curb ramp.
	<b>Crosswalks</b>		
5	<i>See Accessible Route Diagram.</i>	Crosswalks at vehicular drives are incorporated into the accessible route(s).	Stripe crosswalks.

	<b>Inaccessible Curb Ramp Features</b>														
6	<div><p><i>West curb ramp north of Building 3.</i></p><p><i>Measurement of running slope.</i></p></div>	<p>Running slopes of curb ramps are more than 8.3% (maximum 8.3% allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Slope</u></th></tr></thead><tbody><tr><td>North of Building 2, top of east curb ramp</td><td>9.7%</td></tr><tr><td>North of Building 2, top of west curb ramp</td><td>9.8%</td></tr><tr><td>North of Building 3, east entry, top of east curb ramp</td><td>9.4%</td></tr><tr><td>North of Building 3, east entry, top of west curb ramp</td><td>10.3%</td></tr><tr><td>North of Building 3, west entry, top of west curb ramp</td><td>9.2%</td></tr></tbody></table>	<u>Location</u>	<u>Slope</u>	North of Building 2, top of east curb ramp	9.7%	North of Building 2, top of west curb ramp	9.8%	North of Building 3, east entry, top of east curb ramp	9.4%	North of Building 3, east entry, top of west curb ramp	10.3%	North of Building 3, west entry, top of west curb ramp	9.2%	<p>Replace curb ramps at accessible route(s) as required to retrofit sections with excessive running slope.</p>
<u>Location</u>	<u>Slope</u>														
North of Building 2, top of east curb ramp	9.7%														
North of Building 2, top of west curb ramp	9.8%														
North of Building 3, east entry, top of east curb ramp	9.4%														
North of Building 3, east entry, top of west curb ramp	10.3%														
North of Building 3, west entry, top of west curb ramp	9.2%														

7



*Curb ramp at the east entry of Building 3.*




*Measurement of cross slope.*

Cross slopes of curb ramps are more than 2.0% (maximum 2.0% allowed).

<u>Location</u>	<u>Slope</u>
Building 5, top of south curb ramp	3.2%
Building 2, top of east curb ramp	3.2%
Building 3, east entry, bottom of west curb ramp	3.6%
Building 3, west entry, top of east curb ramp	3.3%

Replace curb ramps at accessible route(s) as required to retrofit sections with excessive cross slope.

## C. COMMON USE AREAS

	Inaccessible Mail Center Features																																		
8	 <p>Mailbox center.</p>	<p>Of 40 mailboxes at this location, 14 mailboxes that serve covered units are above reach range (maximum 54 inches allowed to lock). The top five rows of mailboxes are above reach range.</p> <table> <tr> <th>Location</th> <th>Height (inches)</th> </tr> <tr> <td colspan="2">Building 2:</td> </tr> <tr> <td>Box 1020-2 Sue Ln./ 101</td> <td>69-5/8</td> </tr> <tr> <td>Box 102</td> <td>66-3/4</td> </tr> <tr> <td>Box 103</td> <td>63-1/4</td> </tr> <tr> <td>Box 104</td> <td>59-3/4</td> </tr> <tr> <td colspan="2">Building 3:</td> </tr> <tr> <td>Box 104</td> <td>69-1/2 +/-</td> </tr> <tr> <td>Box 105</td> <td>66-3/4 +/-</td> </tr> <tr> <td>Box 106</td> <td>63-1/8</td> </tr> <tr> <td>Box 107</td> <td>59-3/8</td> </tr> <tr> <td>Box 108</td> <td>56-1/4</td> </tr> <tr> <td colspan="2">Building 4:</td> </tr> <tr> <td>Box 1020-4 Sue Ln./ 101</td> <td>56 +/-</td> </tr> <tr> <td colspan="2">Building 5:</td> </tr> <tr> <td>Box 1020-5 Sue Ln./ 101</td> <td>66-3/4 +/-</td> </tr> </table>	Location	Height (inches)	Building 2:		Box 1020-2 Sue Ln./ 101	69-5/8	Box 102	66-3/4	Box 103	63-1/4	Box 104	59-3/4	Building 3:		Box 104	69-1/2 +/-	Box 105	66-3/4 +/-	Box 106	63-1/8	Box 107	59-3/8	Box 108	56-1/4	Building 4:		Box 1020-4 Sue Ln./ 101	56 +/-	Building 5:		Box 1020-5 Sue Ln./ 101	66-3/4 +/-	<p>Rearrange mail box frames or reassign boxes such that all covered dwelling units are assigned mail boxes that have locks within reach range.</p>
Location	Height (inches)																																		
Building 2:																																			
Box 1020-2 Sue Ln./ 101	69-5/8																																		
Box 102	66-3/4																																		
Box 103	63-1/4																																		
Box 104	59-3/4																																		
Building 3:																																			
Box 104	69-1/2 +/-																																		
Box 105	66-3/4 +/-																																		
Box 106	63-1/8																																		
Box 107	59-3/8																																		
Box 108	56-1/4																																		
Building 4:																																			
Box 1020-4 Sue Ln./ 101	56 +/-																																		
Building 5:																																			
Box 1020-5 Sue Ln./ 101	66-3/4 +/-																																		

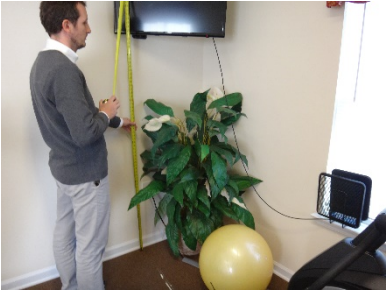



*Typical mailbox frame.*



*Measurement to 1020-3 Sue Lane, Box 108.*

Box 102	63-1/4 +/-
Box 103	59-1/2 +/-
Box 104	56 +/-

<p>9</p>	 <p><i>Television at Fitness Center.</i></p>  <p><i>Height of bottom edge.</i></p>	<p>The television in the fitness center projects approximately 10 inches into the circulation path at 65 inches above the floor (maximum 4 inches allowed at heights greater than 27 inches and less than 80 inches).</p>	<p>Provide permanent cane detectable barrier under the TV.</p>
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#### **D. COVERED DWELLING UNITS**

Lanier Pointe Phase II has four 2-story residential buildings. Three buildings have four 2-bedroom units per floor and one building has four 2-bedroom units and four 3-bedroom units per floor. All 20 first-floor units are covered by FHA.

Unit counts:

Covered 2 Bedroom / 2 Bath Unit = 15 total

Covered 2 Bedroom / 2 Bath Unit (Type A) = 1 total

Covered 3 Bedroom / 2 Bath Unit = 3 total

Covered 3 Bedroom / 2 Bath Unit (Type A) = 1 total

Second Floor 2 Bedroom / 2 Bath Unit = 16 total

Second Floor 3 Bedroom / 2 Bath Unit = 4 total

40 total units (32 – 2 bedroom and 8 – 3 bedroom)

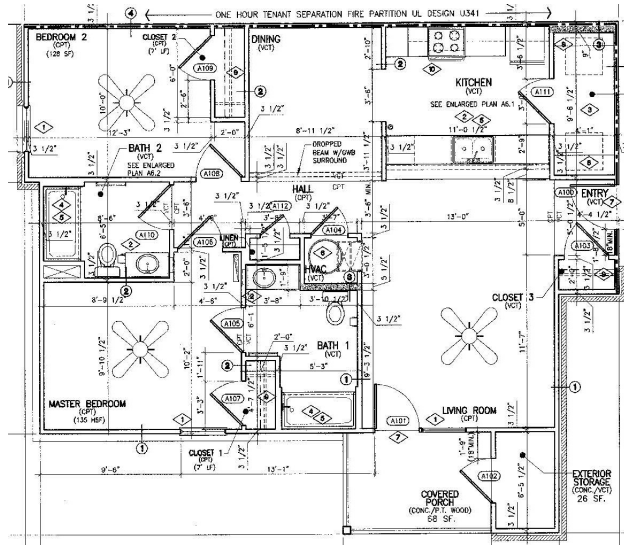
20 total covered units (2 designated accessible units)

#### **Typical Inaccessible Unit Features Common to All Residential Buildings/Units**


The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.



## UNIT TYPE: 2 Bedroom, 2 Bathroom



Surveyed Units 2-102 and 5-102 – Typical for 15 total units





Unit Plan. (PENDERGRAPH04197).

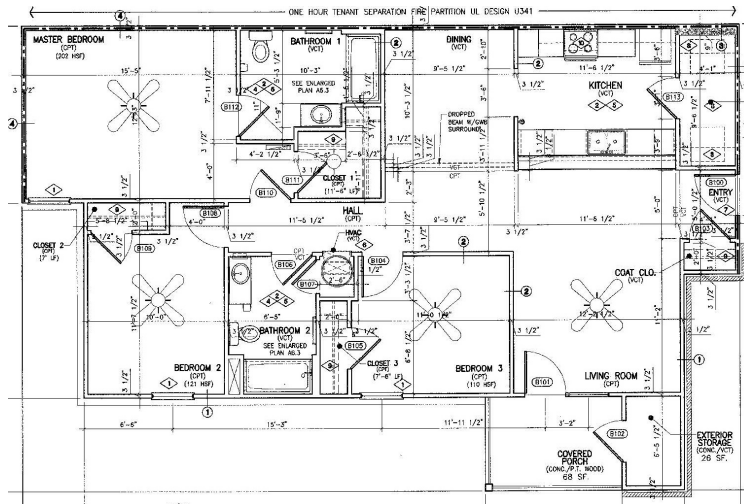
<p>10</p>	 <p><i>Bathtub/shower surround in Unit 2-102.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>
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11	 <p><i>Dimension from side wall to centerline of lavatory in Unit 2-102.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 2-102 master bath</td><td>21-3/8</td></tr><tr><td>Unit 2-102 hall bath</td><td>18-3/4</td></tr><tr><td>Unit 5-102 master bath</td><td>21-1/4</td></tr><tr><td>Unit 5-102 hall bath</td><td>18-3/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2-102 master bath	21-3/8	Unit 2-102 hall bath	18-3/4	Unit 5-102 master bath	21-1/4	Unit 5-102 hall bath	18-3/4	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>												
Unit 2-102 master bath	21-3/8												
Unit 2-102 hall bath	18-3/4												
Unit 5-102 master bath	21-1/4												
Unit 5-102 hall bath	18-3/4												
12	<p><i>Dimension from toilet side wall to lavatory Unit 2-102.</i></p> 	<p>The clear width of the spaces at the wall behind the toilet are 29 inches to 29-1/2 inches wide (minimum 33 inches required).</p> <table><tr><th><u>Location</u></th><th><u>Width (inches)</u></th></tr><tr><td>Unit 2-102 hall bathroom</td><td>29</td></tr><tr><td>Unit 5-102 hall bathroom</td><td>29-1/2</td></tr></table>	<u>Location</u>	<u>Width (inches)</u>	Unit 2-102 hall bathroom	29	Unit 5-102 hall bathroom	29-1/2	<p>Reduce lavatory/vanity cabinet width to the maximum extent possible to widen the space.</p>				
<u>Location</u>	<u>Width (inches)</u>												
Unit 2-102 hall bathroom	29												
Unit 5-102 hall bathroom	29-1/2												

	<p><i>Dimension from toilet side wall to lavatory Unit 2-102.</i></p> 								
13	 <p><i>Dimension from side wall / bathtub to toilet centerline in Unit 2-102.</i></p>	<p>Toilet centerlines are less than 18 inches to the bathtub side wall (minimum 18 inches required).</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 2-102 hall bathroom</td><td>15-3/8</td></tr><tr><td>Unit 5-102 hall bathroom</td><td>15-1/8</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2-102 hall bathroom	15-3/8	Unit 5-102 hall bathroom	15-1/8	<p>Install offset flange to shift toilet centerline to a position as close to 18 inches from the tub as is possible.</p>
<u>Location</u>	<u>Distance (inches)</u>								
Unit 2-102 hall bathroom	15-3/8								
Unit 5-102 hall bathroom	15-1/8								


14	<div><p><i>Tape at edge of bathroom door leaf in open position at Unit 2-102.</i></p><p><i>Dimension from door leaf in open position to bathtub.</i></p></div>	<p>The clear floor space in the bathroom is less than 48 inches long (minimum 48 inches required).</p> <table><tr><td>Dimension</td><td>Clear</td></tr><tr><td><u>Location</u></td><td><u>(inches)</u></td></tr><tr><td>Unit 2-102 hall bathroom</td><td>34-1/2</td></tr><tr><td>Unit 5-102 hall bathroom</td><td>33-5/8</td></tr></table>	Dimension	Clear	<u>Location</u>	<u>(inches)</u>	Unit 2-102 hall bathroom	34-1/2	Unit 5-102 hall bathroom	33-5/8	<p>Reverse the door so that it does not swing into the bathroom.</p>
Dimension	Clear										
<u>Location</u>	<u>(inches)</u>										
Unit 2-102 hall bathroom	34-1/2										
Unit 5-102 hall bathroom	33-5/8										

**UNIT TYPE: 3 Bedroom, 2 Bathroom**  
 Surveyed Unit 3-104 – Typical for 3 total units



Unit Plan. (PENDERGRAPH04198).

**Inaccessible Features:**

<p>15</p>	 <p><i>Bathtub/shower surround in Unit 3-104.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>
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16



*Dimension from side wall to centerline of lavatory in Unit 3-104 hall bathroom.*



*Interior of vanity in Unit 3-104 hall bathroom.*

Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.

<u>Location</u>	<u>Distance (inches)</u>
Unit 3-104 master bathroom	19

Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.

Attach a durable-material placard stating:  
 “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES.  
 CONTACT MANAGEMENT.”

**APPENDIX G**  
**RETROFIT PLAN FOR MANOR RIDGE APARTMENTS**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 1991 ADAAG

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

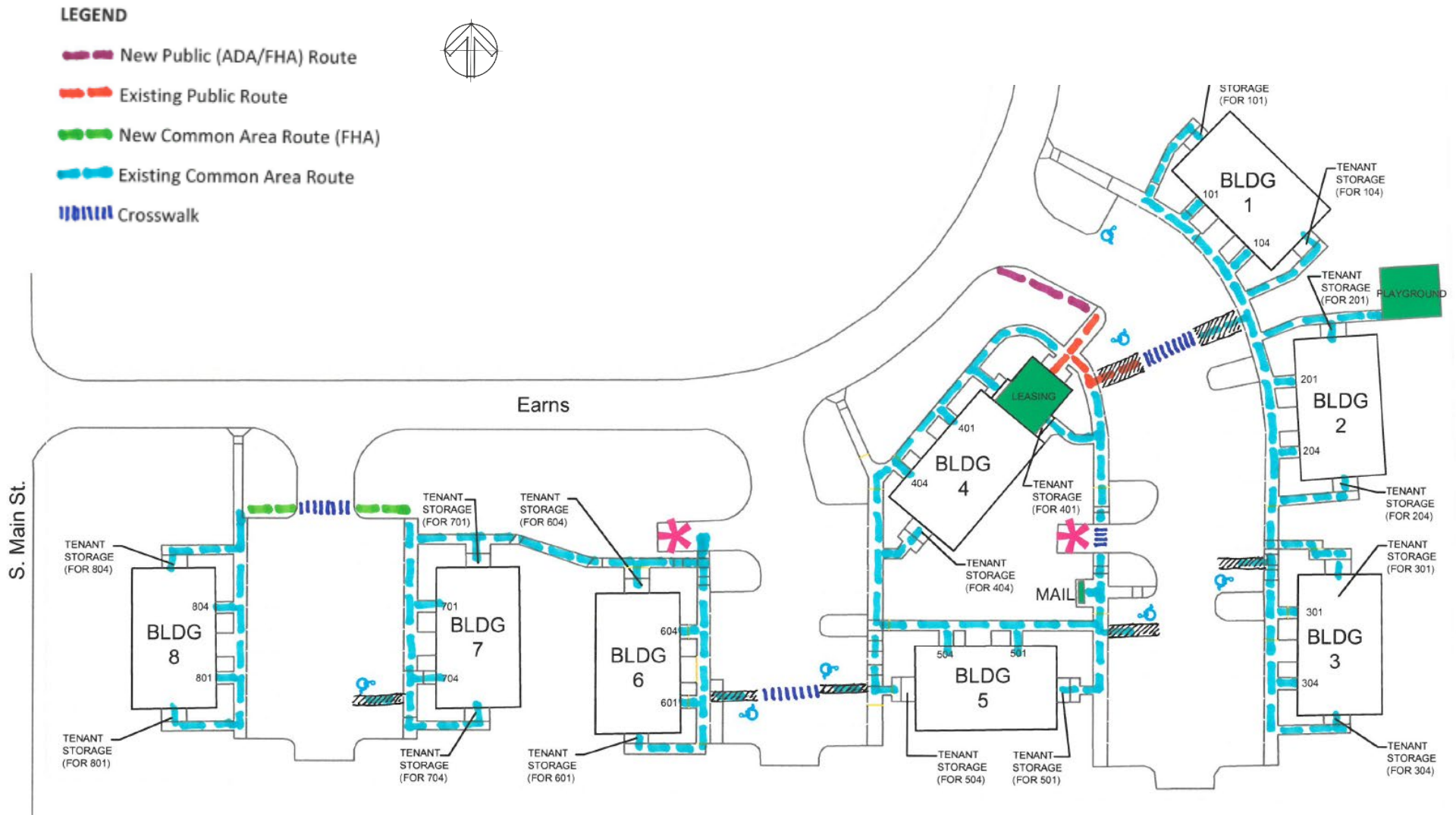
**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.



## ACCESSIBLE ROUTE DIAGRAM






Manor Ridge Apartments Retrofit Plan – 2




**A. PUBLIC AND COMMON AREA FEATURES (ADA & FHA)**



*Note: see Accessible Route Diagram for preferred route to Earns Rd.*





	<b>Lack of Accessible Route</b>		
1	 <p><i>View looking west from north of Building 8.</i></p>	<p>There is no accessible route between pedestrian site arrival points and leasing office; existing route ends at vehicular way (accessible route required).</p>	<p>Provide new sidewalk and curb ramps from Earns Rd. to the existing walk in front of the leasing office building (see Accessible Route Diagram).</p>


	<b>Crosswalks</b>						
2	<i>See Accessible Route Diagram.</i>	Crosswalks at vehicular drives are incorporated into the accessible route(s).	Stripe crosswalks.				
	<b>Inaccessible Parking Features</b>						
3	 <i>Parking space at leasing office entry.</i>	The designated accessible parking space at the leasing office has no access aisle (aisle required).	Verify all slopes at space and proposed access aisle are less than 2%. Designated access aisle must be a minimum of 8-feet across. Stripe access aisle, relocate sign, and connect accessible aisle to accessible route.				
4	 <i>Leasing office parking</i>	<p>The designated accessible parking space has a running slope of 6.6% (maximum 5% allowed per ANSI 1986; maximum 2% allowed per ADAAG).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>Leasing Office Parking</td><td>6.6%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Leasing Office Parking	6.6%	Repave/overlay asphalt at parking space and create access aisle. Restripe parking space and access aisle.
<u>Location</u>	<u>Slope</u>						
Leasing Office Parking	6.6%						

	 <p><i>Measurement of running slope.</i></p>		
	<p><b>Inaccessible Slopes at Sidewalks</b></p>		
5	 <p><i>Intersection of sidewalks in front of leasing office.</i></p>  <p><i>Measurement of cross slope.</i></p>	<p>Cross slope at the route northeast of Building 4 is 3.2% (maximum 2% allowed).</p>	<p>Replace sidewalks at accessible route(s) as required to retrofit sections with excessive cross slope.</p> <p>Note: continuous accessible routes shown on the diagram incorporate access aisles at parking. Retrofit includes relocation of accessible parking space and access aisle at Building 1 in order to allow for the striped crossing indicated between the leasing office parking access aisle and the access aisle and walk serving Buildings 1, 2 and 3.</p>

	<b>Inaccessible Curb Ramp Features</b>		
6	 <p><i>Curb ramp at leasing office parking.</i></p>  <p><i>Measurement of slope perpendicular to sidewalk.</i></p>	<p>Cross slopes at the curb ramp northeast of Building 4 (Leasing) are as high as 3.3% to 4.8% (maximum 2.0% allowed).</p> <p>Note: if the ramp is considered a straight run, then the 3.3% slope is a cross slope exceeding 2% (as shown in the photo). If the ramp is considered to turn and the user exits to the access aisle to the right, then the 4.8% slope is a cross slope exceeding 2%.</p>	<p>Replace curb ramps at accessible route(s) as required to retrofit sections with excessive cross slope.</p>

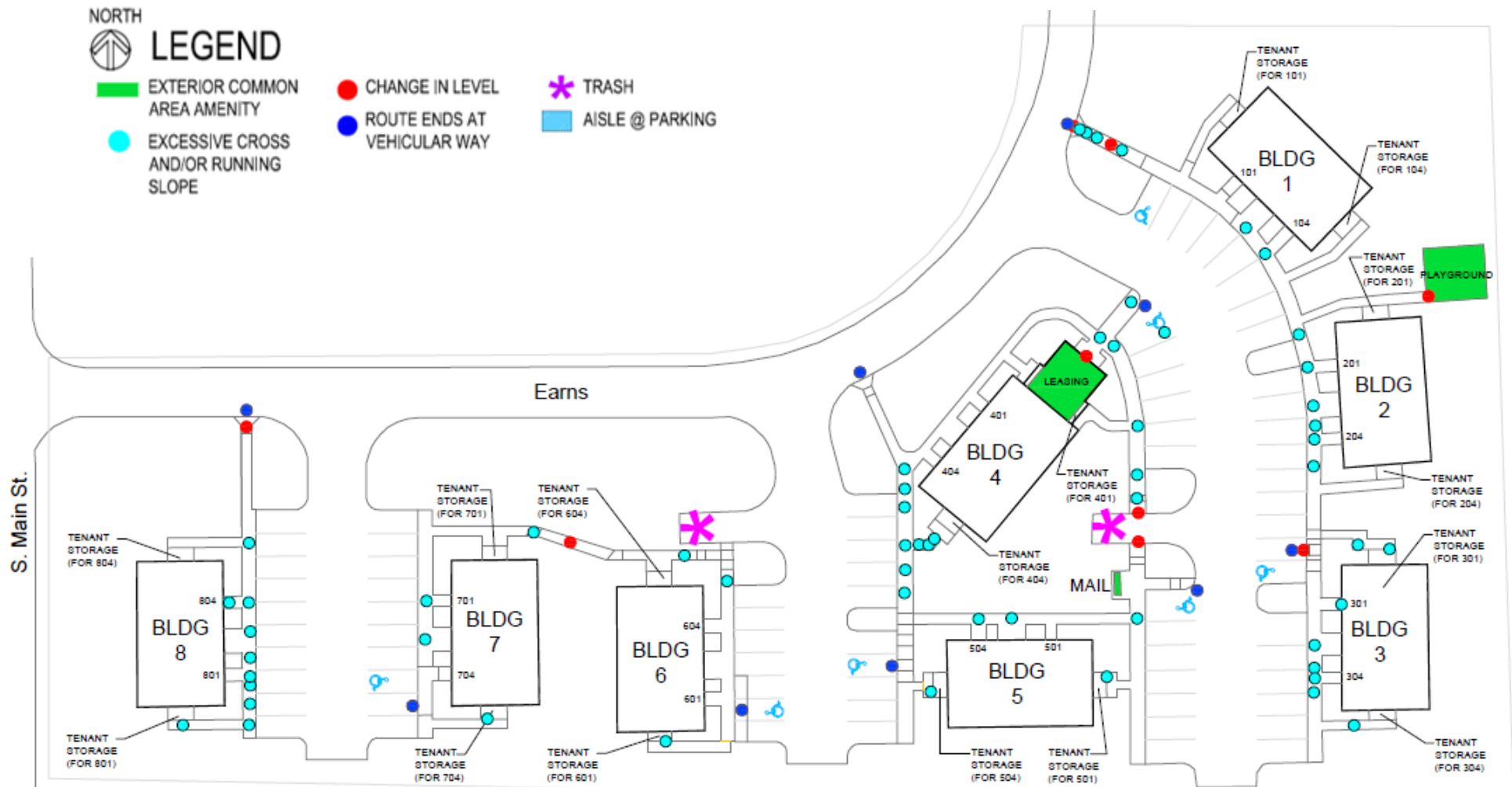
	Inaccessible Thresholds								
7	<div><p><i>Interior threshold.</i></p><p><i>Exterior threshold</i></p></div>	<p>The leasing office door interior and exterior threshold heights are greater than 1/2 inch with no bevel (maximum 1/4 inch vertical allowed, 1/2 inch threshold height with bevel is allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Interior threshold</td><td>7/8</td></tr><tr><td>Exterior threshold assembly</td><td>1-3/8</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Interior threshold	7/8	Exterior threshold assembly	1-3/8	Replace threshold.
<u>Location</u>	<u>Height (inches)</u>								
Interior threshold	7/8								
Exterior threshold assembly	1-3/8								




	Inaccessible Parking Features		
8	 <p><i>Parking space at leasing office entry.</i></p>	The leasing office does not have a van accessible parking space (minimum 1 required by ADA).	See Item 3 above.




## B. INACCESSIBLE FEATURES AT ROUTES



### Inaccessible Features at Common Use Routes







	<b>Lack of Accessible Route/Inaccessible Width</b>		
9	<i>See map diagrams.</i>	There is no accessible route from covered dwelling units to common area buildings, site arrival points, leasing office, and exterior common areas and amenities (routes required).	Replace concrete as required to retrofit sections with excessive cross slope. Repave/overlay asphalt at parking spaces and access aisles. Restripe parking spaces and access aisles.
10	 <p><i>Sidewalk south of Building 6.</i></p>	The route south of Building 6 has vegetation overhanging the sidewalk and the clear width is 24 inches (minimum 36 inches required).	Trim vegetation.

	 <p>Measurement of sidewalk width.</p>  <p>Close up of tape.</p>						
	<b>Inaccessible Changes in Level</b>						
11		<p>The route has changes in level greater than 1/2 inch (maximum 1/2 inch with bevel allowed).</p> <table><tr><td><u>Location</u></td><td><u>Height (inches)</u></td></tr><tr><td>West of Building 1 at curb of Earns</td><td>1-1/4</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	West of Building 1 at curb of Earns	1-1/4	<p>Replace, bevel, or grind the edge of concrete as required to retrofit sections with excessive cross slope.</p>
<u>Location</u>	<u>Height (inches)</u>						
West of Building 1 at curb of Earns	1-1/4						



<p><i>Curb ramp west of Building 1 at Earns.</i></p>  <p><i>Measurement of change in level.</i></p>	<table> <tr> <td>West of Building 1, east of curb ramp at Earns</td> <td>1/2 no bevel</td> </tr> <tr> <td>End of walk at playground</td> <td>1-3/4</td> </tr> <tr> <td>Northwest of Building 3 at parking</td> <td>3/4</td> </tr> <tr> <td>Dumpster apron at mail center</td> <td>1</td> </tr> <tr> <td>Dumpster apron at walk to Building 4</td> <td>1</td> </tr> <tr> <td>North of Building 8 at top of curb ramp at Earns</td> <td>1/2 no bevel</td> </tr> </table>	West of Building 1, east of curb ramp at Earns	1/2 no bevel	End of walk at playground	1-3/4	Northwest of Building 3 at parking	3/4	Dumpster apron at mail center	1	Dumpster apron at walk to Building 4	1	North of Building 8 at top of curb ramp at Earns	1/2 no bevel					
West of Building 1, east of curb ramp at Earns	1/2 no bevel																	
End of walk at playground	1-3/4																	
Northwest of Building 3 at parking	3/4																	
Dumpster apron at mail center	1																	
Dumpster apron at walk to Building 4	1																	
North of Building 8 at top of curb ramp at Earns	1/2 no bevel																	
<b>Inaccessible Gaps in Route</b>																		
<p>12</p>  <p><i>Location west of Building 2</i></p>	<p>Gaps in the pavement are wider than 1/2 inch (maximum 1/2 inch allowed).</p> <table> <tr> <td><u>Location</u></td> <td><u>Gap (inches)</u></td> </tr> <tr> <td>South of Building 1 at walk to Unit 104 storage</td> <td>3/4</td> </tr> <tr> <td>Off southwest corner of Building 3</td> <td>1</td> </tr> <tr> <td>Off northeast corner of Building 5</td> <td>1-1/8</td> </tr> <tr> <td>East of Building 4 (route to unit 401 storage)</td> <td>3/4</td> </tr> <tr> <td>West of Building 4 (route to unit 401)</td> <td>1-1/8</td> </tr> <tr> <td>Northeast of Building 8</td> <td>1</td> </tr> <tr> <td>East of Building 6</td> <td>trench</td> </tr> </table>	<u>Location</u>	<u>Gap (inches)</u>	South of Building 1 at walk to Unit 104 storage	3/4	Off southwest corner of Building 3	1	Off northeast corner of Building 5	1-1/8	East of Building 4 (route to unit 401 storage)	3/4	West of Building 4 (route to unit 401)	1-1/8	Northeast of Building 8	1	East of Building 6	trench	Fill gaps flush with walk surfaces.
<u>Location</u>	<u>Gap (inches)</u>																	
South of Building 1 at walk to Unit 104 storage	3/4																	
Off southwest corner of Building 3	1																	
Off northeast corner of Building 5	1-1/8																	
East of Building 4 (route to unit 401 storage)	3/4																	
West of Building 4 (route to unit 401)	1-1/8																	
Northeast of Building 8	1																	
East of Building 6	trench																	





*Measurement of gap width.*

	Inaccessible Slopes at Sidewalks																																								
13	 <p><i>Measuring slopes between Units 201 and 202.</i></p>  <p><i>Measurement of cross slope.</i></p>	<p>The cross slopes of the route are more than 2% (maximum 2% allowed).</p> <table> <tr> <th><u>Location</u></th> <th><u>Slope</u></th> </tr> <tr> <td>West of Building 1 at bend in sidewalk</td> <td>3.3%</td> </tr> <tr> <td>In front of Unit 103</td> <td>3.4%</td> </tr> <tr> <td>In front of Unit 104</td> <td>3.8%</td> </tr> <tr> <td>At walk to Unit 201 storage</td> <td>4.1%</td> </tr> <tr> <td>At walk to Unit 201</td> <td>4.8%</td> </tr> <tr> <td>At walk to Units 202 and 203</td> <td>10.4%</td> </tr> <tr> <td>Between Units 203 and 204</td> <td>13.8%</td> </tr> <tr> <td>At walk to Unit 204</td> <td>9.2%</td> </tr> <tr> <td>South of walk to Unit 204</td> <td>5.8%</td> </tr> <tr> <td>In front of Unit 302</td> <td>6.6%</td> </tr> <tr> <td>Between Units 303 and 304</td> <td>12.0%</td> </tr> <tr> <td>At walk to Unit 304</td> <td>6.7%</td> </tr> <tr> <td>Off southwest corner of Building 3</td> <td>3.8%</td> </tr> <tr> <td>Midway down walk to Unit 304 storage</td> <td>3.6%</td> </tr> <tr> <td>Northeast of Building 5 at turn to unit entries</td> <td>6.8%</td> </tr> <tr> <td>East of Building 4 at south end of parking row</td> <td>3.3%</td> </tr> <tr> <td>South of walk to leasing office</td> <td>3.9%</td> </tr> <tr> <td>At walk to leasing office</td> <td>3.9%</td> </tr> </table>	<u>Location</u>	<u>Slope</u>	West of Building 1 at bend in sidewalk	3.3%	In front of Unit 103	3.4%	In front of Unit 104	3.8%	At walk to Unit 201 storage	4.1%	At walk to Unit 201	4.8%	At walk to Units 202 and 203	10.4%	Between Units 203 and 204	13.8%	At walk to Unit 204	9.2%	South of walk to Unit 204	5.8%	In front of Unit 302	6.6%	Between Units 303 and 304	12.0%	At walk to Unit 304	6.7%	Off southwest corner of Building 3	3.8%	Midway down walk to Unit 304 storage	3.6%	Northeast of Building 5 at turn to unit entries	6.8%	East of Building 4 at south end of parking row	3.3%	South of walk to leasing office	3.9%	At walk to leasing office	3.9%	<p>Replace concrete as required to retrofit sections with excessive cross slopes.</p>
<u>Location</u>	<u>Slope</u>																																								
West of Building 1 at bend in sidewalk	3.3%																																								
In front of Unit 103	3.4%																																								
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South of walk to leasing office	3.9%																																								
At walk to leasing office	3.9%																																								



		At sidewalk intersection west of Building 4	6.4%	
		At first parking space west of Building 4	8.4%	
		West of Building 4 at north end of parking row	7.4%	
		At walk to Unit 404 storage	5.2%	
		At bend in walk to Unit 404 storage	3.2%	
		Southwest of Unit 404 storage	3.2%	
		South of walk to Unit 404 storage	5.3%	
		North of walk to Building 5	3.5%	
		At walk to Unit 504	3.5%	
		At walk to Unit 701	3.1%	
		South of Unit 801 storage	3.1%	
		At walk to Unit 801 storage	3.6%	
		Off southeast corner of Building 8	3.3%	
		South of walk to Unit 801	3.7%	
		At walk to Unit 801	4.4%	
		South of Unit 802 porch	7.3%	
		At walk to Unit 803	5.6%	
		At walk to Unit 804	3.8%	
		At walk to Unit 804 storage	3.2%	



14	<div></div> <p><i>Walk to Unit 404 storage.</i></p> <div></div> <p><i>Measurement of running slope.</i></p>	<p>The running slopes of routes are greater than 8.3% (maximum 8.3% allowed).</p> <table><tr><th><u>Location</u></th><th><u>Slope</u></th></tr><tr><td>South end of walk to Unit 404 storage</td><td>12.5%</td></tr><tr><td>Bend in walk to Unit 404 storage</td><td>12.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	South end of walk to Unit 404 storage	12.5%	Bend in walk to Unit 404 storage	12.1%	<p>Replace concrete as required to retrofit sections with excessive running slopes.</p>
<u>Location</u>	<u>Slope</u>								
South end of walk to Unit 404 storage	12.5%								
Bend in walk to Unit 404 storage	12.1%								


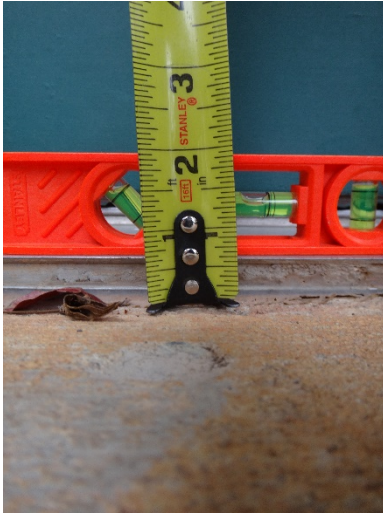


	<b>Inaccessible Curb Ramp Features</b>										
15	<div><p><i>Curb ramp.</i></p><p><i>Cross slope.</i></p></div>	<p>Cross slope at curb ramps is more than 2.0% (maximum 2.0% allowed).</p> <table><tr><th><u>Location</u></th><th><u>Slope</u></th></tr><tr><td>Curb ramp west of Building 1 bottom of ramp</td><td>6.0%</td></tr><tr><td>Curb ramp west of Building 1 parallel with curb</td><td>5.5%</td></tr><tr><td>Curb ramp west of Building 1 perpendicular to route</td><td>5.2%</td></tr></table> <p>A maximum 2.0% cross slope is allowed. (Guidelines Requirement 2 Chart; ANSI 1986 4.8.6).</p>	<u>Location</u>	<u>Slope</u>	Curb ramp west of Building 1 bottom of ramp	6.0%	Curb ramp west of Building 1 parallel with curb	5.5%	Curb ramp west of Building 1 perpendicular to route	5.2%	<p>Replace concrete as required to retrofit sections with excessive cross slopes.</p>
<u>Location</u>	<u>Slope</u>										
Curb ramp west of Building 1 bottom of ramp	6.0%										
Curb ramp west of Building 1 parallel with curb	5.5%										
Curb ramp west of Building 1 perpendicular to route	5.2%										




	Inaccessible Ramp Features		
16	 <p><i>Ramp north of Building 7.</i></p>	The ramp north of Building 7 has only one handrail (handrails required on both sides).	Install handrail. See item 16.
17	<i>See above.</i>	The ramp north of Building 7 has no edge protection (required on both sides).	Install edge protection at both sides of ramp.
18	 <p><i>Ramp north of Building 7.</i></p>	The landings at the ramp north of Building 7 slope as much as 6.1% (level landings required).	Replace ramp and landings as required to provide running and cross slopes as required at landings and at ramp runs.

	 <p>Measurement of slope at ramp landing.</p>														
	<b>Inaccessible Slope at Door Maneuvering Space</b>														
19	 <p>Door at Unit 501 storage.</p>	<p>Common area door maneuvering clearances are sloped greater than 2.0% (maximum 2% allowed).</p> <table><thead><tr><th>Location</th><th>Slope</th></tr></thead><tbody><tr><td>Unit 301</td><td>3.1%</td></tr><tr><td>Unit 301 storage</td><td>3.2%</td></tr><tr><td>Unit 501 storage</td><td>5.2%</td></tr><tr><td>Unit 504 storage</td><td>4.4%</td></tr><tr><td>Unit 601 storage</td><td>4.6%</td></tr></tbody></table>	Location	Slope	Unit 301	3.1%	Unit 301 storage	3.2%	Unit 501 storage	5.2%	Unit 504 storage	4.4%	Unit 601 storage	4.6%	<p>Replace concrete at door maneuvering clear spaces.</p>
Location	Slope														
Unit 301	3.1%														
Unit 301 storage	3.2%														
Unit 501 storage	5.2%														
Unit 504 storage	4.4%														
Unit 601 storage	4.6%														

	 <p><i>Slope at door approach.</i></p>																														
	<b>Inaccessible Door Threshold</b>																														
20	 <p><i>Unit 204 entrance door threshold.</i></p>	<p>Entrance door thresholds are more than 3/4 inches high (maximum 3/4 inch height allowed).</p> <table> <tr> <th>Location</th> <th>Height (inches)</th> </tr> <tr><td>Unit 101 storage</td><td>5/8 no bevel</td></tr> <tr><td>Unit 204</td><td>5/8 no bevel</td></tr> <tr><td>Unit 401</td><td>7/8 no bevel</td></tr> <tr><td>Unit 401 storage</td><td>7/8</td></tr> <tr><td>Unit 404</td><td>3/4</td></tr> <tr><td>Unit 504 storage</td><td>1-1/8</td></tr> <tr><td>Unit 601 storage</td><td>1-1/4</td></tr> <tr><td>Unit 604</td><td>1-1/4</td></tr> <tr><td>Unit 701</td><td>1-1/4</td></tr> <tr><td>Unit 704</td><td>1/2 no bevel</td></tr> <tr><td>Unit 704 storage</td><td>1-1/4</td></tr> <tr><td>Unit 801</td><td>7/8</td></tr> <tr><td>Unit 804</td><td>1-1/2</td></tr> </table>	Location	Height (inches)	Unit 101 storage	5/8 no bevel	Unit 204	5/8 no bevel	Unit 401	7/8 no bevel	Unit 401 storage	7/8	Unit 404	3/4	Unit 504 storage	1-1/8	Unit 601 storage	1-1/4	Unit 604	1-1/4	Unit 701	1-1/4	Unit 704	1/2 no bevel	Unit 704 storage	1-1/4	Unit 801	7/8	Unit 804	1-1/2	<p>At unit entry doors: Install beveled transitions.</p> <p>At storage room doors:</p> <p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
Location	Height (inches)																														
Unit 101 storage	5/8 no bevel																														
Unit 204	5/8 no bevel																														
Unit 401	7/8 no bevel																														
Unit 401 storage	7/8																														
Unit 404	3/4																														
Unit 504 storage	1-1/8																														
Unit 601 storage	1-1/4																														
Unit 604	1-1/4																														
Unit 701	1-1/4																														
Unit 704	1/2 no bevel																														
Unit 704 storage	1-1/4																														
Unit 801	7/8																														
Unit 804	1-1/2																														

**C. COMMON USE AREAS**

	<b>Inaccessible Parking Features</b>		
21	 <p><i>Designated accessible parking space at Building 1.</i></p>	<p>Designated accessible parking spaces have no access aisle (aisle required).</p> <p><u>Location</u></p> <p>Building 1, no access aisle            Building 3, no access aisle            Building 5, no access aisle            Building 5, no access aisle            Building 6, no access aisle            Building 7, no access aisle</p>	<p>Stripe parking spaces and install access aisles. See Accessible Route Diagram. Stripe routes crossing parking.</p>

#### **D. COVERED DWELLING UNITS**

Manor Ridge has eight 2-story residential buildings with one 2-bedroom unit and one 3-bedroom unit per floor. All 16 first-floor units are covered by FHA.

Unit counts:

Covered 2 Bedroom / 1 Bath Unit = 6 total

Covered 2 Bedroom / 1 Bath Unit (Type A) = 2 total

Covered 3 Bedroom / 2 Bath Unit = 8 total

Second Floor 2 Bedroom / 1 Bath Unit = 8 total

Second Floor 3 Bedroom / 2 Bath Unit = 8 total

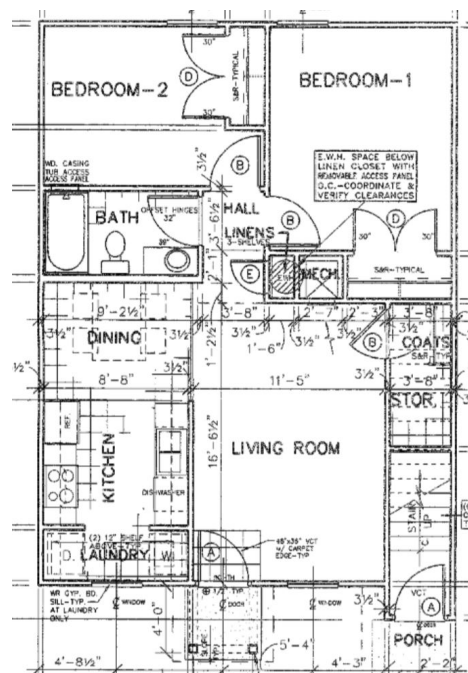
32 total units

#### **Typical Inaccessible Unit Features Common to All Residential Buildings/Units**

The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits.


**UNIT TYPE: 2 Bedroom, 1 Bathroom**



Surveyed Units 101 and 601 – Typical for 6 total units





Unit Plan. (PENDERGRAPH03205).

**Inaccessible Features:**



22	 <p><i>Entrance door threshold interior side at Unit 101.</i></p>	<p>Door thresholds are more than 3/4 inches high at the interior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 101 entrance</td><td>1-1/4</td></tr><tr><td>Unit 601 entrance</td><td>1-3/8</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 101 entrance	1-1/4	Unit 601 entrance	1-3/8	<p>Provide beveled transition strips.</p>
<u>Location</u>	<u>Height (inches)</u>								
Unit 101 entrance	1-1/4								
Unit 601 entrance	1-3/8								

23	 <p><i>Clear width of door opening.</i></p>	Bathroom door clear opening widths are 27-5/8 inches (minimum 31-5/8 inch required).	Widen door opening and replace door.
24	 <p><i>Height of outlet in Unit 101</i></p>	Typical outlets are less than 13-3/4 inches to 14 inches above the floor (minimum 15-inches required).	Raise at least one outlet for each room area.



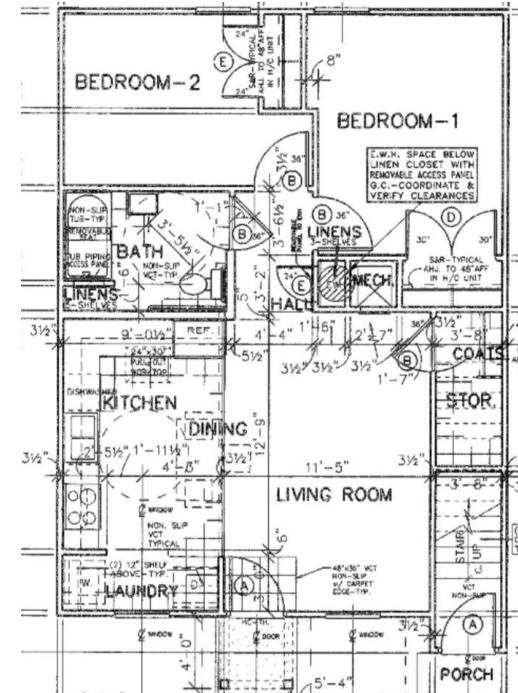
25	 <p><i>Bathtub/shower surround in Unit 101.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>						
26	 <p><i>Dimension from side wall to centerline of lavatory in Unit 101.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable. Flooring, base, and finishes do not extend below vanity.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 101 bathroom</td><td>12-1/2</td></tr><tr><td>Unit 601 bathroom</td><td>18</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 101 bathroom	12-1/2	Unit 601 bathroom	18	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor (ANSI) knee and toe clearance requirements.</p> <p>Attach a durable-material placard measuring at least 1" by 3" and stating: "THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT."</p>
<u>Location</u>	<u>Distance (inches)</u>								
Unit 101 bathroom	12-1/2								
Unit 601 bathroom	18								




<p>27</p>	 <p><i>Bathroom door leaf in open position at Unit 601</i></p>  <p><i>Dimension from door leaf in open position to bathtub</i></p>	<p>The clear floor space in the bathrooms is 41-3/4 to 42 inches long (minimum 48-inches required).</p>	<p>Reverse the door so that it does not swing into the bathroom.</p>
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Surveyed Unit 501 – Typical for 2 total units



Unit Plan. (PENDERGRAPH03205).



### Inaccessible Features:

28	 <p><i>Entrance door threshold interior side at Unit 501.</i></p>	<p>Door thresholds are more than 3/4 inches high at the exterior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Unit 501 entrance</td><td>1-1/4</td></tr><tr><td>Unit 501 storage (storage closet is more than 24 inches deep)</td><td>1-1/4</td></tr></tbody></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 501 entrance	1-1/4	Unit 501 storage (storage closet is more than 24 inches deep)	1-1/4	<p>At unit entry doors: Provide beveled transition strips.</p> <p>At unit storage closet doors: Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating:</p>
<u>Location</u>	<u>Height (inches)</u>								
Unit 501 entrance	1-1/4								
Unit 501 storage (storage closet is more than 24 inches deep)	1-1/4								

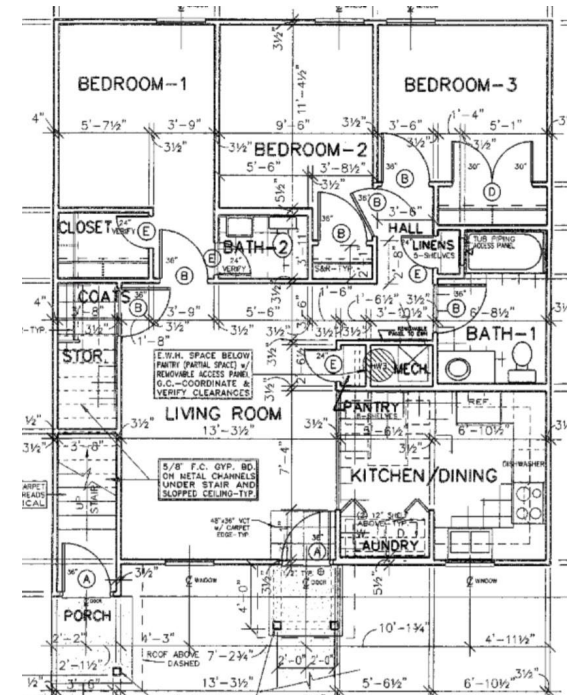
 <p><i>Entrance door threshold interior side at Unit 501.</i></p>		<p>“A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
<p>29</p>  <p><i>Linen storage in unit 501.</i></p>  <p><i>Measurement of clear opening.</i></p>	<p>The width of the clear opening at the linen closet doorway is 15-1/8 inches and the closet depth is 36 inches (minimum 31-5/8 inch clear opening width required).</p> <p>(Note: shelf is mounted on the long sidewall of the closet space.)</p>	<p>Widen door or install new back wall at closet such that closet depth is reduced to 24 inches.</p>

	 <p><i>Measurement of depth.</i></p>		
30	 <p><i>Height of outlet in Unit 501</i></p>	Typical outlets are 13-5/8 inches above the floor (minimum 15 inches required).	Raise at least one outlet for each room area.


# UNIT TYPE: 3 Bedroom, 2 Bathroom




Surveyed Units 304 and 704 – Typical for 8 total units



Unit Plan. (PENDERGRAPH03205).





## Inaccessible Features:

<p>31</p>	 <p>Entrance door threshold interior side at Unit 304.</p>	<p>Door thresholds are 1-3/8 inches to 1-1/2 inches high at the interior face and are not beveled (maximum 3/4 inch with bevel allowed).</p>	<p>Provide beveled transition strips.</p>
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32	<div></div> <p><i>Measurement of door width at Unit 704 walk-in closet.</i></p> <div></div> <p><i>Unit 704 closet.</i></p>	<p>Door clear opening widths are less than 31-5/8 inches (minimum 31-5/8 inch required).</p> <table><thead><tr><th>Location</th><th>Clear Width (inches)</th></tr></thead><tbody><tr><td>Unit 304, walk-in closet</td><td>21-3/4</td></tr><tr><td>Unit 304, powder room</td><td>22</td></tr><tr><td>Unit 704, walk-in closet</td><td>22</td></tr><tr><td>Unit 704, powder room</td><td>22</td></tr></tbody></table>	Location	Clear Width (inches)	Unit 304, walk-in closet	21-3/4	Unit 304, powder room	22	Unit 704, walk-in closet	22	Unit 704, powder room	22	<p>Widen door to provide a compliant clear opening width or install new back wall to closet that reduces the closet depth to 24” interior depth.</p>
Location	Clear Width (inches)												
Unit 304, walk-in closet	21-3/4												
Unit 304, powder room	22												
Unit 704, walk-in closet	22												
Unit 704, powder room	22												
33	<div></div> <p><i>Height of outlet in Unit 304.</i></p>	<p>Typical outlets are 14 inches above the floor (minimum 15 inches required).</p>	<p>Raise at least one outlet for each room area.</p>										

<p>34</p>	 <p><i>Clear floor space obstructed by adjacent refrigerator and counters in Unit 304.</i></p>  <p><i>Range and countertop depth in Unit 304.</i></p>	<p>The outlets above kitchen countertops lack the required clear floor space for approach to an outlet serving the area between the range and refrigerator (at least 1 outlet in each counter area must have clear floor space for approach).</p>	<p>Replace range or add outlet(s) at accessible location serving the counter area.</p>
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35	 <p><i>Bathtub/shower surround in Unit 304</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars that can be mounted in the required locations at the existing surrounds. If not replacing the tub surround, fabricate at least two custom grab bars for the tub back walls. Maintain a stock of two such grab bars on site at all times. Install on request at no charge.</p>						
36	 <p><i>Dimension from side wall to centerline of lavatory in Unit 304.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable. Flooring, base, and finishes do not extend below vanity.</p> <table><thead><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr></thead><tbody><tr><td>Unit 304, bathroom</td><td>15-3/8</td></tr><tr><td>Unit 704, bathroom</td><td>15-1/8</td></tr></tbody></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 304, bathroom	15-3/8	Unit 704, bathroom	15-1/8	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard measuring at least 1” by 3” and stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>								
Unit 304, bathroom	15-3/8								
Unit 704, bathroom	15-1/8								



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**APPENDIX H**  
**RETROFIT PLAN FOR MILLERS RIDGE APARTMENTS**

**Safe Harbors used to develop the retrofit scope:**

ADA – Evaluation of Items to Retrofit: 1991 ADAAG

Standard for Retrofit Work: 2010 ADA Standards

FHA – Evaluation of Items to Retrofit: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

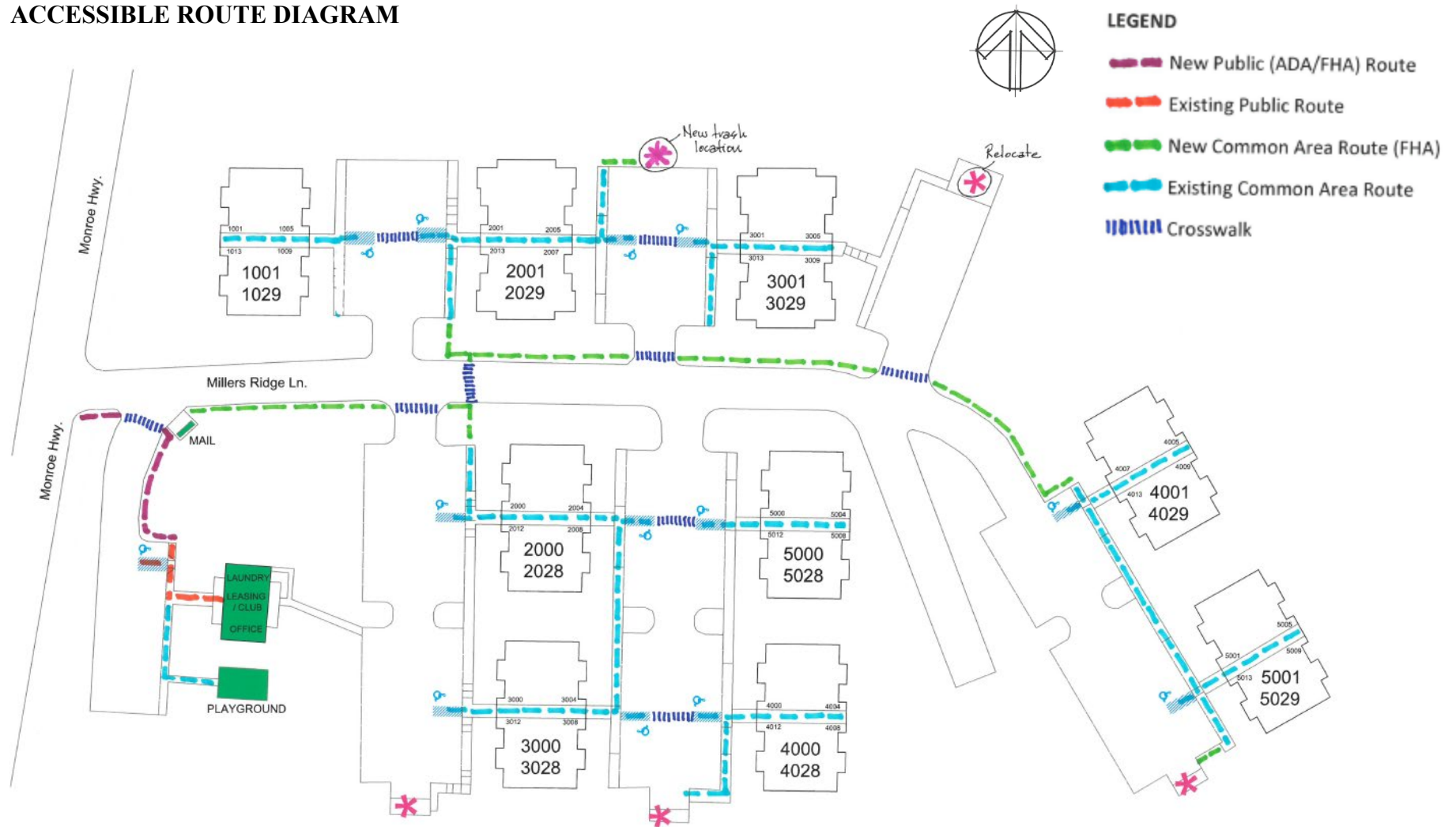
Standard for Retrofit Work: FHA, FHA Regulations, Guidelines, ANSI A117.1 1986

**Notes:**

Current NC Building Code will apply to all work requiring a building permit. Local code requirements for retrofits may be more stringent than the safe harbor listed above.

Alternate accessible routes may be considered. Routes identified in the approved retrofit plan may not be revised unless the change is approved by the DOJ. Survey all portions of the routes affected by concrete and asphalt work done on or after February 2018 to confirm scope of required work.

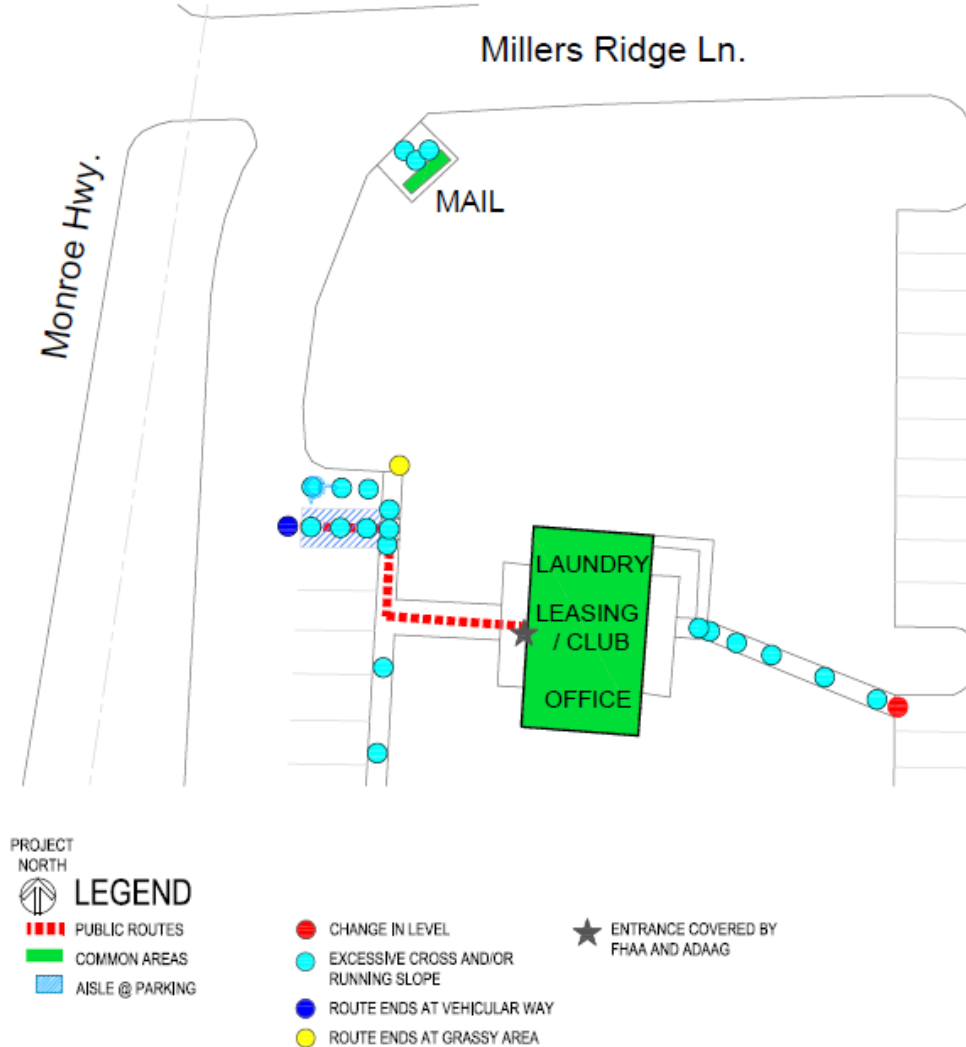
# ACCESSIBLE ROUTE DIAGRAM





Millers Ridge Apartments Retrofit Plan – 2




**A. INACCESSIBLE PUBLIC AND COMMON AREA FEATURES (ADA & FHA)**




**Millers Ridge: Route to Leasing Office from Site Arrival Points**





Note: while inaccessible features are shown at 2 routes, retrofits are required to provide only one route to the leasing/clubhouse from pedestrian points of arrival, vehicular points of arrival and all covered dwelling units. If all required routes are provided as is proposed in the Accessible Route Diagram, the walk east of leasing can remain as-is. See Accessible Route Diagram on page 2.



	<b>Lack of Accessible Route</b>										
1	 <i>Route along drive lane.</i>	There is no accessible route between pedestrian site arrival points and leasing office (accessible route required).	Provide new sidewalk and curb ramps from Monroe Highway to existing walk west of the leasing office/clubhouse (see Accessible Route Diagram).								
	<b>Crosswalks</b>										
2	<i>See Accessible Route Diagram.</i>	Crosswalks at vehicular drives are incorporated into the accessible route(s).	Stripe crosswalks.								
	<b>Inaccessible Slopes at Sidewalks</b>										
3	 <i>South of Leasing Office, sidewalk at curb ramp.</i>	<p>Cross slopes at the route are more than 2% (maximum 2% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>West of Leasing Office at south curb ramp</td><td>8.2%</td></tr><tr><td>West of Leasing Office at curb ramp</td><td>10.2%</td></tr><tr><td>West of Leasing Office north of access aisle</td><td>4.1%</td></tr></table>	<u>Location</u>	<u>Slope</u>	West of Leasing Office at south curb ramp	8.2%	West of Leasing Office at curb ramp	10.2%	West of Leasing Office north of access aisle	4.1%	Replace existing curb ramp and sidewalk sections (at least one slab north and south of the curb ramp) by the parking space and access aisle west of leasing office.
<u>Location</u>	<u>Slope</u>										
West of Leasing Office at south curb ramp	8.2%										
West of Leasing Office at curb ramp	10.2%										
West of Leasing Office north of access aisle	4.1%										



	 <p><i>Measurement of cross slope.</i></p>		
	<p><b>Inaccessible Restroom Features</b></p>		
4	 <p><i>Toilet in unisex restroom.</i></p>  <p><i>Dimension from wall to toilet centerline.</i></p>	<p>The toilet centerline is 15 inches from the side wall (minimum 16 inches required and maximum 18 inches allowed by 2010 ADA, 18 inches required by the Guidelines/ANSI 1986).</p>	<p>Install offset flange. Shift existing toilet at least 1 inch further from the sidewall.</p>

<p>5</p>	 <p><i>Toilet and grab bar.</i></p>  <p><i>Measurement to wall end of grab bar.</i></p>  <p><i>Measurement to far end of grab bar.</i></p>	<p>Accessories:</p> <p>The rear wall grab bar is 24 inches long (minimum 36 inches required).</p> <p>The toilet paper holder is 32-3/4 inches from the back wall and approximately 2-3/4 inches in front of the nose of the toilet (minimum 7 inches to maximum 9 inches in front of toilet required).</p>	<p>Remove and replace rear grab bar. New bar minimum 36 inches long. Note: new grab bar location may conflict with the existing lavatory. Omit this work if distance from sidewall to side of lavatory is less than 38 inches.</p> <p>Relocate toilet paper dispenser.</p>
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	Protruding Objects		
6	 <p><i>Protruding objects in leasing office.</i></p>  <p><i>Drinking fountain protruding height.</i></p>	<p>Objects protrude more than 4 inches into the circulation path at heights greater than 27 inches and less than 80 inches (maximum 4 inch protruding objects allowed at heights greater than 27 inches and less than 80 inches).</p>	<p>Retrofit at fire extinguisher:</p> <ol style="list-style-type: none"> <li>1) Lower so that bottom of unit is less than 27 inches above the floor; or</li> <li>2) Install permanent cane detectable barrier under the fire extinguisher.</li> </ol> <p>Retrofit at drinking fountain:</p> <ol style="list-style-type: none"> <li>1) Lower so that bottom of unit is less than 27 inches above the floor; or</li> <li>2) Install permanent cane detectable barrier under edge of the drinking fountain such that the bottom is exactly 27 inches above the floor. Unit must be both cane detectable and have required clear knee space.</li> </ol>

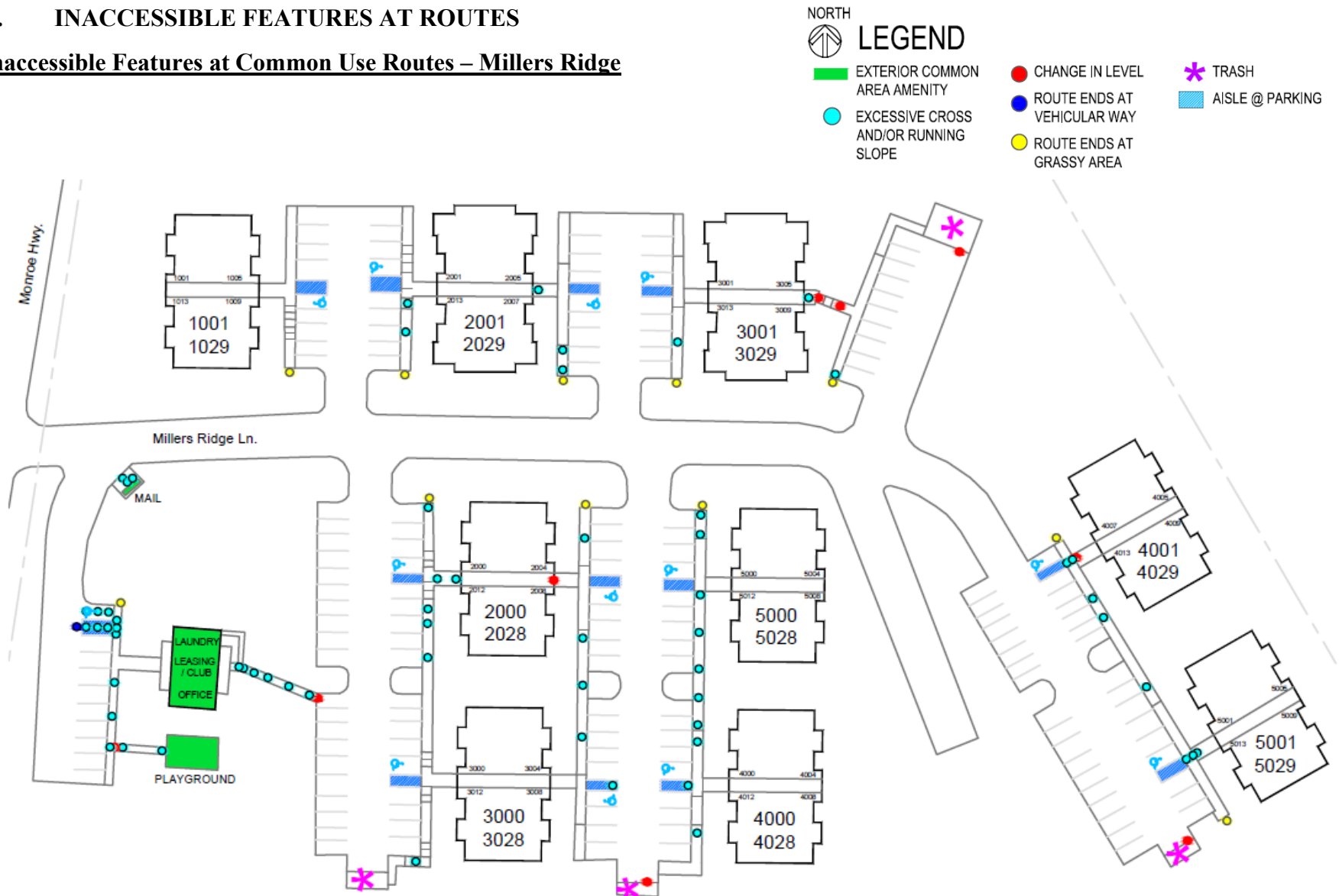


	 <p><i>Drinking fountain protruding depth.</i></p>								
7	 <p><i>Access aisle.</i></p>	<p>Leasing office designated accessible parking access aisle has running slopes greater than 2.0% (maximum 2% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>Leasing Office</td><td>3.7%</td></tr><tr><td>Leasing Office</td><td>3.9%</td></tr></table>	<u>Location</u>	<u>Slope</u>	Leasing Office	3.7%	Leasing Office	3.9%	<p>Repave access aisle. Restripe aisle and apply ISA marking at space after paving.</p>
<u>Location</u>	<u>Slope</u>								
Leasing Office	3.7%								
Leasing Office	3.9%								




	 <p><i>Running slope at middle of access aisle.</i></p>								
8	 <p><i>Leasing Office designated accessible parking space.</i></p> <p><i>Running slope at foot of parking space.</i></p>	<p>The designated accessible parking space has running slopes greater than 2% (maximum 2% allowed).</p> <table> <tr> <th><u>Location</u></th> <th><u>Slope</u></th> </tr> <tr> <td>Leasing Office Parking</td> <td>3.4%</td> </tr> <tr> <td>Leasing Office Parking</td> <td>4.0%</td> </tr> </table>	<u>Location</u>	<u>Slope</u>	Leasing Office Parking	3.4%	Leasing Office Parking	4.0%	<p>Repave parking space. Restripe aisle and apply ISA marking at space after paving.</p>
<u>Location</u>	<u>Slope</u>								
Leasing Office Parking	3.4%								
Leasing Office Parking	4.0%								



## B. INACCESSIBLE FEATURES AT ROUTES



### Inaccessible Features at Common Use Routes – Millers Ridge





Millers Ridge Apartments Retrofit Plan – 10


	<b>Lack of Accessible Route</b>		
9	 <p><i>No route to east building group</i></p>	There is no accessible route from covered dwelling units to site arrival points, leasing office, and common areas.	Provide new sidewalks and curb ramps from Monroe Highway to existing walks (see Accessible Route Diagram).
10	 <p><i>The sidewalk west of 2001-2029 blocked by a parked vehicle.</i></p>  <p><i>Space between bumper and edge of walk.</i></p>	Sidewalks are not wide enough to provide a 36-inch clear route past parked vehicles (minimum 36 inches required).	Install wheel stops at all parking spaces abutting accessible routes.

	Inaccessible Change in Level										
11	 <p><i>Dumpster east of 3001-3029. Measurement of curb.</i></p>	<p>The route has changes in level greater than 1/4 inch (maximum 1/4 inch allowed without a bevel and 1/2 inch with a bevel).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Playground entrance</td><td>3/4</td></tr><tr><td>West of 4001-4029</td><td>3/4</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Playground entrance	3/4	West of 4001-4029	3/4	<p>Replace or grind paving at playground entrance, location west of 4001-4029, and approach to trash south of 5001-5029 as required to provide a route that is free of changes in level.</p>		
<u>Location</u>	<u>Height (inches)</u>										
Playground entrance	3/4										
West of 4001-4029	3/4										
11a	 <p><i>Dumpster east of 3001-3029.</i></p>	<p>The route has changes in level greater than 1/4 inch (maximum 1/4 inch allowed without a bevel and 1/2 inch with a bevel) at trash areas.</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Trash east of 3001-3029</td><td>5-3/4</td></tr><tr><td>Trash south of 5001-5029</td><td>3/4</td></tr><tr><td>Trash south of 4000-4028</td><td>6-1/4</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Trash east of 3001-3029	5-3/4	Trash south of 5001-5029	3/4	Trash south of 4000-4028	6-1/4	<p>Provide new curb ramp and route to trash dumpsters south of 5001-5029 and south of 4000-4028.</p> <p>Relocate the trash dumpster east of 3001-3029 to the parking area between 2001-2029 and 3001-3029. Provide accessible route to the new location.</p> <p>Note: alternate locations for the trash north of Millers Ridge Lane may be considered. Submit any revisions for approval prior to beginning design or construction.</p>
<u>Location</u>	<u>Height (inches)</u>										
Trash east of 3001-3029	5-3/4										
Trash south of 5001-5029	3/4										
Trash south of 4000-4028	6-1/4										




	Inaccessible Gaps in Route		
12	 <p><i>Location of trench at designated accessible parking space.</i></p>  <p><i>Trench.</i></p>	<p>Continuous gap in the pavement at the base of a curb ramp is wider than 1/2 inch (maximum 1/2 inch allowed). Trench is approximately 12 inches wide and 4 inches deep.</p>	<p>Pave edge of parking lot and fill trench.</p>





	<b>Inaccessible Slopes at Sidewalks</b>																																
13	<div><p><i>Sidewalk west of 3001-3029.</i></p><p><i>Measurement of cross slope.</i></p></div>	<p>Cross slopes at the route are more than 2% (maximum 2% allowed).</p> <table><thead><tr><th>Location</th><th>Slope</th></tr></thead><tbody><tr><td>Playground entrance</td><td>5.1%</td></tr><tr><td>Sidewalk to playground west of parking lot</td><td>3.3%</td></tr><tr><td>Parking lot at sidewalk to playground</td><td>4.0%</td></tr><tr><td>West of Leasing, fourth stall from south</td><td>4.2%</td></tr><tr><td>South of sidewalk to Leasing</td><td>3.6%</td></tr><tr><td>West of Mail Center</td><td>3.6%</td></tr><tr><td>West of 2001-29 midway to Millers Ridge Lane</td><td>3.6%</td></tr><tr><td>South of walk to 2001-29 west entrance</td><td>3.2%</td></tr><tr><td>West of 3001-29 midway to Millers Ridge Lane</td><td>3.8%</td></tr><tr><td>West of 4001-29 midway to tree island</td><td>3.9%</td></tr><tr><td>East of 2000-28 midway to Millers Ridge Lane</td><td>4.2%</td></tr><tr><td>West of 2000-28 at north end of parking lot</td><td>3.8%</td></tr><tr><td>West of 2000-28 midway to tree island</td><td>3.3%</td></tr><tr><td>West of 2000-28 north of</td><td>3.6%</td></tr></tbody></table>	Location	Slope	Playground entrance	5.1%	Sidewalk to playground west of parking lot	3.3%	Parking lot at sidewalk to playground	4.0%	West of Leasing, fourth stall from south	4.2%	South of sidewalk to Leasing	3.6%	West of Mail Center	3.6%	West of 2001-29 midway to Millers Ridge Lane	3.6%	South of walk to 2001-29 west entrance	3.2%	West of 3001-29 midway to Millers Ridge Lane	3.8%	West of 4001-29 midway to tree island	3.9%	East of 2000-28 midway to Millers Ridge Lane	4.2%	West of 2000-28 at north end of parking lot	3.8%	West of 2000-28 midway to tree island	3.3%	West of 2000-28 north of	3.6%	<p>Replace concrete at routes indicated on the Accessible Route Diagram as required to retrofit all slopes and inaccessible conditions. Work requires replacement of paving as far as is necessary to connect with existing walks that comply with maximum 2% required cross slope.</p> <p>Note: listed locations are based on the accessible route diagram above.</p>
Location	Slope																																
Playground entrance	5.1%																																
Sidewalk to playground west of parking lot	3.3%																																
Parking lot at sidewalk to playground	4.0%																																
West of Leasing, fourth stall from south	4.2%																																
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West of 2000-28 midway to tree island	3.3%																																
West of 2000-28 north of	3.6%																																



		tree island					
14		<p>Running slopes at the route are greater than 8.3% (maximum 8.3% allowed).</p> <table><tr><td><u>Location</u></td><td><u>Slope</u></td></tr><tr><td>3001-29 east entrance</td><td>11.9%</td></tr></table>	<u>Location</u>	<u>Slope</u>	3001-29 east entrance	11.9%	<p>Replace concrete at routes indicated on the Accessible Route Diagram as required to retrofit all slopes and inaccessible conditions. Work requires replacement of paving as far as is necessary to connect with existing walks.</p> <p>Note: listed location is based on the Accessible Route Diagram above.</p>
<u>Location</u>	<u>Slope</u>						
3001-29 east entrance	11.9%						
15	 <p><i>Sidewalk east of the Leasing Office building.</i></p>	<p>Running slopes at ramp to leasing are greater than 8.3% (maximum 8.3% allowed at a ramp).</p>	<p>Proposed accessible routes on the Accessible Route Diagram do not include this walk. No work at this walk is required unless an alternate route is proposed.</p>				





	 <p><i>Running slope.</i></p>												
	<b>Inaccessible Curb Ramp Features</b>												
16	 <p><i>Curb ramp measurement location.</i></p>  <p><i>Running slope.</i></p>	<p>Running slopes of curb ramps are more than 8.3% (maximum 8.3% allowed).</p> <table><tr><th>Location</th><th>Slope</th></tr><tr><td>Bottom of ramp at 4001-29</td><td>12.0%</td></tr><tr><td>Top of ramp at 4001-29</td><td>10.7%</td></tr><tr><td>Top of ramp at 5001-29</td><td>12.6%</td></tr><tr><td>Bottom of ramp at 5001-29</td><td>11.8%</td></tr></table>	Location	Slope	Bottom of ramp at 4001-29	12.0%	Top of ramp at 4001-29	10.7%	Top of ramp at 5001-29	12.6%	Bottom of ramp at 5001-29	11.8%	<p>Remove and replace curb ramp and adjacent paving as required to maintain a continuous accessible route at the sidewalk.</p>
Location	Slope												
Bottom of ramp at 4001-29	12.0%												
Top of ramp at 4001-29	10.7%												
Top of ramp at 5001-29	12.6%												
Bottom of ramp at 5001-29	11.8%												

## C. COMMON USE AREAS

	Inaccessible Parking Features								
17	<div><p><i>Access aisle east of 3000-3028 (level in cross slope position).</i></p><div><p><i>Running slope.</i></p></div></div>	<p>Access aisles have running slopes greater than 5% (maximum 5% allowed).</p> <table><tr><th>Location</th><th>Slope</th></tr><tr><td>Foot of aisle east of 3000-28</td><td>8.7%</td></tr><tr><td>Head of aisle west of 4000-28</td><td>5.7%</td></tr></table>	Location	Slope	Foot of aisle east of 3000-28	8.7%	Head of aisle west of 4000-28	5.7%	<p>Repave parking space and aisle. Include new pavement markings and International Symbol of Accessibility.</p>
Location	Slope								
Foot of aisle east of 3000-28	8.7%								
Head of aisle west of 4000-28	5.7%								

18	 <p><i>Access aisle at 1001-1029.</i></p>	<p>Access aisles are not on an accessible route (accessible route required). There is a vertical curb at the sidewalk.</p> <p><u>Locations</u></p> <p>East of 1001-1029  West of 2001-2029  East of 2001-2029  West of 3001-3029  West of 2000-2028  East of 2000-2028  West of 3000-3028  East of 3000-3028  West of 4000-4028  West of 5000-5028</p>	<p>Install curb ramp at each listed access aisle. Curb ramp design must not create cross slope conditions at sidewalk.</p>				
	<p><b>Inaccessible Slopes at Clear Floor Space Serving Mail Center</b></p>						
19	 <p><i>Clear floor space at mail center.</i></p>	<p>Clear floor space(s) at the mail center have slopes greater than 2% (maximum 2% allowed).</p> <table> <tr> <td><u>Location</u></td> <td><u>Slope</u></td> </tr> <tr> <td>Midpoint of mail center</td> <td>3.2%</td> </tr> </table>	<u>Location</u>	<u>Slope</u>	Midpoint of mail center	3.2%	<p>Grind, replace, or top existing concrete to provide level clear floor spaces at mail boxes.</p>
<u>Location</u>	<u>Slope</u>						
Midpoint of mail center	3.2%						

	 <p><i>Cross slope.</i></p>		
	<p><b>Inaccessible Common Area Features</b></p>		
20	 <p><i>Height of microwave controls.</i></p>	<p>The microwave controls located 62-3/4 inches above the finished floor (maximum 46 inches allowed for side reach range over obstruction).</p>	<p>Relocate microwave or provide a portable microwave on the countertop in a compliant location.</p>

#### **D. COVERED DWELLING UNITS**

Unit counts:

Covered 2 Bedroom / 1 Bath Unit = 7 total

Covered 2 Bedroom / 1 Bath Unit (Type A) = 1 total

Covered 2 Bedroom / 2 Bath Unit = 20 total

Covered 3 Bedroom / 2 Bath Unit = 7 total

Covered 3 Bedroom / 2 Bath Unit (Type A) = 1 total

Second Floor 2 Bedroom / 1 Bath Unit = 8 total

Second Floor 2 Bedroom / 2 Bath Unit = 20 total

Second Floor 3 Bedroom / 2 Bath Unit = 8 total

72 total units

36 total covered units (2 designated Type A units)

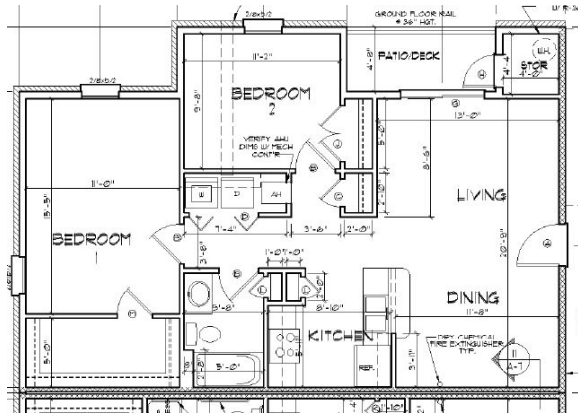
*Note: drawings provided did not indicate locations of 2-bedroom unit types. Unit counts are based on observation of roof vent locations.*

#### **Typical Inaccessible Unit Features Common to All Residential Buildings/Units**

The extent of existing blocking in bathrooms cannot be determined without destructive testing. Additional blocking at unit toilets, tubs and showers may be required as part of unit retrofits. Open interior walls at one unit to investigate extent of existing blocking. Once existing conditions are known, extent of new blocking required (if any) will be determined.

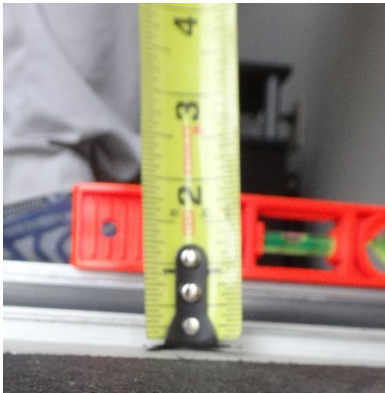
# UNIT TYPE: 2 Bedroom, 1 Bathroom




Surveyed Units 1005 and 3004 – Unit total unknown





Unit Plan. (PENDERGRAPH00065).


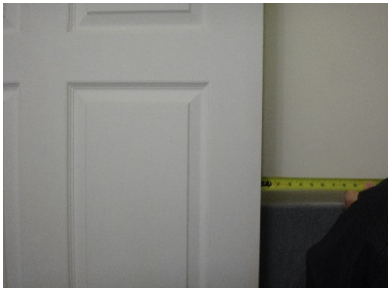
## Inaccessible Features:


21	 <p><i>Patio door threshold at Unit 1005.</i></p>	<p>Door thresholds are more than 3/4 inches high and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><thead><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr></thead><tbody><tr><td>Unit 1005, patio</td><td>7/8</td></tr><tr><td>Unit 1005, storage</td><td>1-1/2</td></tr><tr><td>Unit 3004, patio</td><td>1</td></tr><tr><td>Unit 3004, storage</td><td>1-3/4</td></tr></tbody></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 1005, patio	7/8	Unit 1005, storage	1-1/2	Unit 3004, patio	1	Unit 3004, storage	1-3/4	<p>Patio and storage closet doors:</p> <p>Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Height (inches)</u>												
Unit 1005, patio	7/8												
Unit 1005, storage	1-1/2												
Unit 3004, patio	1												
Unit 3004, storage	1-3/4												

22	<div><p><i>Kitchen in Unit 1005.</i></p><p><i>Measurement of range depth.</i></p></div>	<p>Outlets above kitchen countertops lack the required clear floor space for approach (at least 1 outlet in each counter area must have a clear floor space). The depth of the range obstructs approach.</p> <table><tr><th><u>Location</u></th><th><u>Depth (inches)</u></th></tr><tr><td>Unit 1005</td><td>26-7/8</td></tr><tr><td>Unit 3004</td><td>27 +/-</td></tr></table>	<u>Location</u>	<u>Depth (inches)</u>	Unit 1005	26-7/8	Unit 3004	27 +/-	<p>Replace range or add outlets on side walls at each side of the counters. New outlets on side walls to be maximum 10 inches back from the front face of the range.</p>
<u>Location</u>	<u>Depth (inches)</u>								
Unit 1005	26-7/8								
Unit 3004	27 +/-								

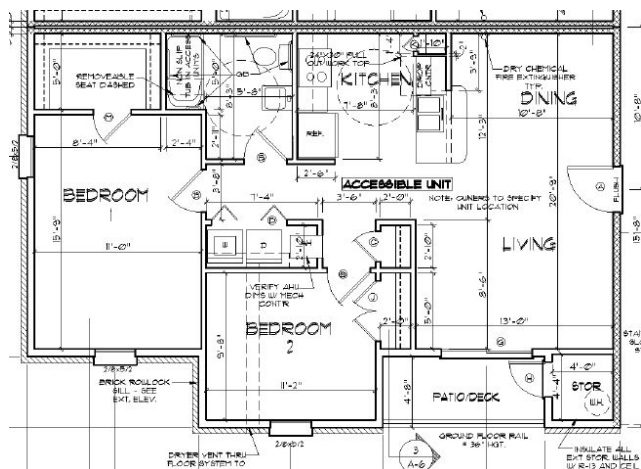


<p>23</p>	 <p><i>Bathtub/shower surround in Unit 1005.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds.</p>
<p>24</p>	 <p><i>Measurement to centerline of lavatory in Unit 1005.</i></p>	<p>Lavatory centerlines are 15-1/2 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p>	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating:  “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES.  CONTACT MANAGEMENT.”</p>

	 <p><i>Vanity base interior in Unit 1005.</i></p>								
25	 <p><i>Bathroom door leaf in open position at Unit 1005.</i></p>	<p>The clear floor space in the bathroom is less than 48-inches long (minimum 48-inches required).</p> <table> <tr> <th><u>Location</u></th> <th><u>Distance (inches)</u></th> </tr> <tr> <td>Unit 1005</td> <td>30-7/8</td> </tr> <tr> <td>Unit 3004</td> <td>31-3/8</td> </tr> </table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 1005	30-7/8	Unit 3004	31-3/8	<p>Reverse the door so that it does not swing into the bathroom.</p>
<u>Location</u>	<u>Distance (inches)</u>								
Unit 1005	30-7/8								
Unit 3004	31-3/8								


	 <p><i>Measurement from door leaf in open position to bathtub</i></p>		
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**UNIT TYPE: 2 Bedroom, 1 Bathroom (Type A)**  
**Surveyed Unit 1009– Typical for 1 unit only**



*Unit Plan. (PENDERGRAPH0065).*

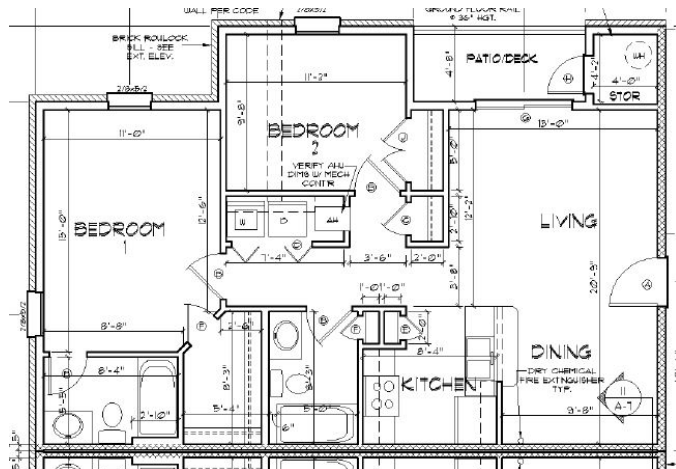
**Inaccessible Features:**

26	 <p><i>Entry door threshold interior side at Unit 1009.</i></p>	<p>Door thresholds are more than 3/4 inches high at the interior face and are not beveled (maximum 3/4 inch with bevel allowed).</p> <table><tr><th><u>Location</u></th><th><u>Height (inches)</u></th></tr><tr><td>Unit 1009 entry</td><td>7/8</td></tr><tr><td>Unit 1009 patio</td><td>1-1/8</td></tr></table>	<u>Location</u>	<u>Height (inches)</u>	Unit 1009 entry	7/8	Unit 1009 patio	1-1/8	<p>Unit entry door: Install threshold transition strips at each side of each location or replace threshold.</p> <p>Patio doors: Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS</p>
<u>Location</u>	<u>Height (inches)</u>								
Unit 1009 entry	7/8								
Unit 1009 patio	1-1/8								

			WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”
27	 <p><i>Bathtub/shower surround in Unit 1009.</i></p>	The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).	Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds.


# UNIT TYPE: 2 Bedroom, 2 Bathroom

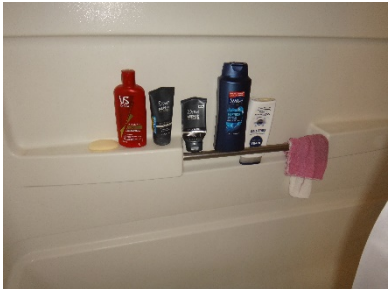

Surveyed Units 2004 and 5004 – Unit total unknown


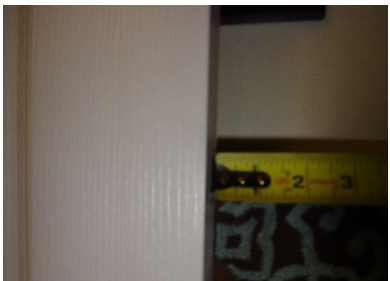


Unit Plan. (PENDERGRAPH00066).

## Inaccessible Features:

28	 <p><i>Countertop adjacent to range in Unit 2004.</i></p>	<p>Outlets above kitchen countertops lack the required clear floor space for approach (at least 1 outlet in each counter area must have a clear floor space). The depth of the range obstructs approach.</p> <table><thead><tr><th>Location</th><th>Depth (inches)</th></tr></thead><tbody><tr><td>Unit 2004</td><td>27 +/-</td></tr><tr><td>Unit 5004</td><td>27 +/-</td></tr></tbody></table>	Location	Depth (inches)	Unit 2004	27 +/-	Unit 5004	27 +/-	<p>Replace range or add outlets on side walls at each side of the counters. New outlets on side walls to be maximum 10 inches back from the front face of the range.</p>
Location	Depth (inches)								
Unit 2004	27 +/-								
Unit 5004	27 +/-								

29	 <p><i>Bathtub/shower surround in Unit 2004.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds.</p>										
30	 <p><i>Measurement to centerline of master bathroom lavatory in Unit 5004.</i></p>	<p>Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 2004 hall bathroom</td><td>15-1/2</td></tr><tr><td>Unit 2004 master bathroom</td><td>15-3/4</td></tr><tr><td>Unit 5004 hall bathroom</td><td>15-3/8</td></tr><tr><td>Unit 5004 master bathroom</td><td>15-1/2</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2004 hall bathroom	15-1/2	Unit 2004 master bathroom	15-3/4	Unit 5004 hall bathroom	15-3/8	Unit 5004 master bathroom	15-1/2	<p>Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.</p> <p>Attach a durable-material placard stating: “THIS CABINET IS REMOVABLE FOR PERSONS WITH DISABILITIES. CONTACT MANAGEMENT.”</p>
<u>Location</u>	<u>Distance (inches)</u>												
Unit 2004 hall bathroom	15-1/2												
Unit 2004 master bathroom	15-3/4												
Unit 5004 hall bathroom	15-3/8												
Unit 5004 master bathroom	15-1/2												

	 <p><i>Interior of vanity cabinet in Unit 5004.</i></p>												
31	 <p><i>Hall bathroom door leaf in open position at Unit 2004.</i></p>	<p>The clear floor space in the bathroom is less than 48 inches long (minimum 48-inches required).</p> <table><thead><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr></thead><tbody><tr><td>Unit 2004 hall bathroom</td><td>31</td></tr><tr><td>Unit 2004 master bathroom</td><td>30</td></tr><tr><td>Unit 5004 hall bathroom</td><td>31-1/4</td></tr><tr><td>Unit 5004 master bathroom</td><td>27</td></tr></tbody></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2004 hall bathroom	31	Unit 2004 master bathroom	30	Unit 5004 hall bathroom	31-1/4	Unit 5004 master bathroom	27	Reverse the door so that it does not swing into the bathroom.
<u>Location</u>	<u>Distance (inches)</u>												
Unit 2004 hall bathroom	31												
Unit 2004 master bathroom	30												
Unit 5004 hall bathroom	31-1/4												
Unit 5004 master bathroom	27												

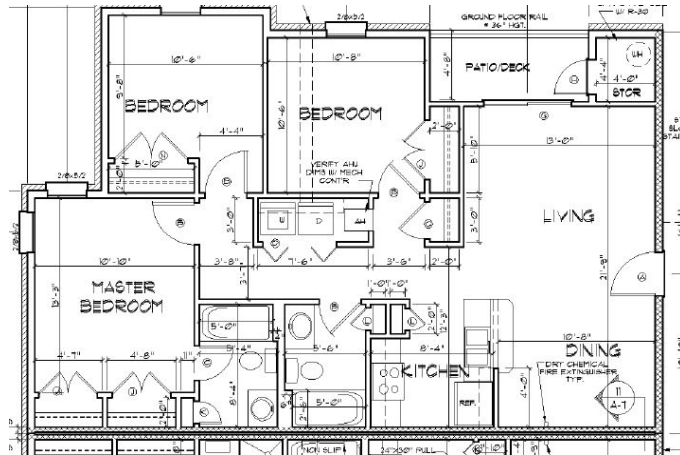




*Measurement to bathtub.*

# **UNIT TYPE: 3 Bedroom, 2 Bathroom**

Surveyed Units 2001 and 2005 – Unit total unknown



*Unit Plan. (PENDERGRAPH00067).*

*Note: Unit 2005 master bathroom door opens outward.*


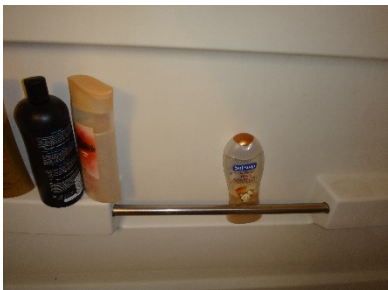
32



*Storage room door threshold at Unit 2005.*

Storage door thresholds are 1-3/8 inches high and are not beveled (maximum 3/4 inch with bevel allowed).

Provide beveled transition strip or offer remediation upon request of tenants. If offered on tenant request, a durable-material placard, contrasting black text on white background, in minimum 14-point font, must be placed on the side of the patio door stating: “A BEVEL TO ASSIST PERSONS WITH DISABILITIES FOR THIS THRESHOLD IS AVAILABLE UPON REQUEST. CONTACT MANAGEMENT.”

33	 <p><i>Countertop area adjacent to range in Unit 2005.</i></p>	<p>Outlets above kitchen countertops lack the required clear floor space for approach (at least 1 outlet in each counter area must have a clear floor space). The depth of the range obstructs approach.</p> <table><tr><th><u>Location</u></th><th><u>Depth (inches)</u></th></tr><tr><td>Unit 2001</td><td>27 +/-</td></tr><tr><td>Unit 2005</td><td>27 +/-</td></tr></table>	<u>Location</u>	<u>Depth (inches)</u>	Unit 2001	27 +/-	Unit 2005	27 +/-	<p>Replace range or add outlets on side walls at each side of the counters. New outlets on side walls to be maximum 10 inches back from the front face of the range.</p>
<u>Location</u>	<u>Depth (inches)</u>								
Unit 2001	27 +/-								
Unit 2005	27 +/-								
34	 <p><i>Bathtub/shower surround in Unit 2001.</i></p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds.</p>						

35



*Measurement to centerline of hall bathroom lavatory in Unit 2005.*





*Interior of vanity cabinet.*


Lavatory centerlines are less than 24 inches to the side wall (minimum 24 inches required) and the cabinets are not removable.

<u>Location</u>	<u>Distance (inches)</u>
Unit 2001 hall bathroom	15-5/8
Unit 2001 master bathroom	15-3/4
Unit 2005 hall bathroom	15-3/4
Unit 2005 master bathroom	15-1/2

Install removable base cabinet with 30 inch wide knee space in compliance with safe harbor knee and toe clearance requirements.

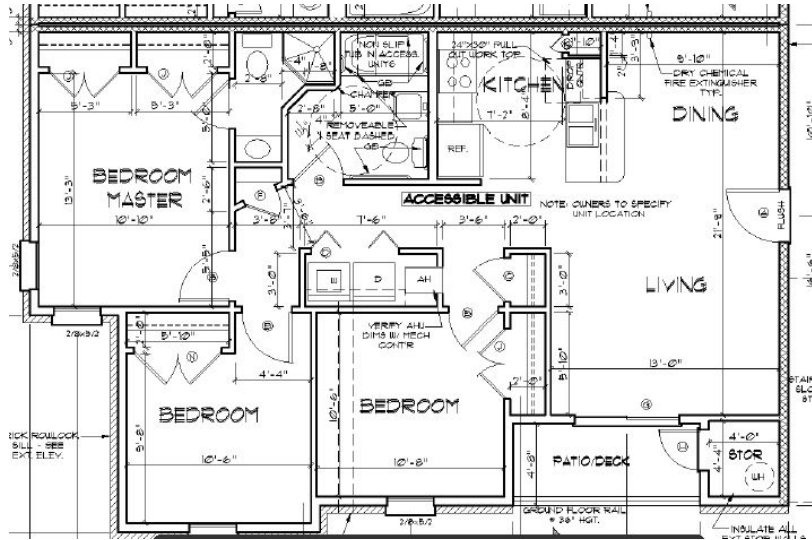
Attach a durable-material placard stating:  
 “THIS CABINET IS REMOVABLE FOR  
 PERSONS WITH DISABILITIES.  
 CONTACT MANAGEMENT.”

36	 <p><i>Measurement to hall bathroom toilet centerline in Unit 2001</i></p>	<p>Toilet centerlines are less than 18 inches to the bathtub on the side opposite the direction of approach (minimum 18 inches required).</p> <table><tr><th><u>Location</u></th><th><u>Distance (inches)</u></th></tr><tr><td>Unit 2001 master bathroom</td><td>12-1/4</td></tr></table>	<u>Location</u>	<u>Distance (inches)</u>	Unit 2001 master bathroom	12-1/4	<p>Install offset flange at master bathroom to shift toilet centerline to a position as close to 18 inches from the tub as is possible without requiring changes to the waste line or flooring.</p>				
<u>Location</u>	<u>Distance (inches)</u>										
Unit 2001 master bathroom	12-1/4										
37	 <p><i>Bathroom door leaf in open position at Unit 2001.</i></p>	<p>The clear floor space in the bathroom is less than 48 inches long (minimum 48-inches required).</p> <table><tr><th><u>Location</u></th><th><u>Length (inches)</u></th></tr><tr><td>Unit 2001 hall bathroom</td><td>32</td></tr><tr><td>Unit 2001 master bathroom</td><td>24-3/8</td></tr><tr><td>Unit 2005 hall bathroom</td><td>32</td></tr></table>	<u>Location</u>	<u>Length (inches)</u>	Unit 2001 hall bathroom	32	Unit 2001 master bathroom	24-3/8	Unit 2005 hall bathroom	32	<p>Reverse the door so that it does not swing into the bathroom.</p>
<u>Location</u>	<u>Length (inches)</u>										
Unit 2001 hall bathroom	32										
Unit 2001 master bathroom	24-3/8										
Unit 2005 hall bathroom	32										


	 <p><i>Dimension from door leaf in open position to bathtub.</i></p>		
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**UNIT TYPE: 3 Bedroom, 2 Bathroom (Type A)**

Surveyed Unit 2-09 – Typical for 1 unit only (Note: evaluated with hall Bath as Option B).



Unit Plan. (PENDERGRAPH00067).

38	 <p>Hall bathroom bathtub/shower surround in Unit 3001.</p>	<p>The shape of the bathtub surrounds precludes the installation of future grab bars with firm attachment to blocking (ability to install grab bars required).</p>	<p>Replace tub surround or install custom grab bars on request that can be mounted in the required locations at the existing surrounds.</p>
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## **APPENDIX I**

### **NOTICE TO TENANTS**

Dear Tenant:

This is to advise you that, as a result of a settlement in a case brought by the United States against the owners of this apartment complex, we have agreed to retrofit the ground floor units [all units if elevator building] at \_\_\_\_\_ [Property] to provide greater accessibility for people with disabilities. Your unit qualifies for retrofitting to provide greater accessibility.

Although your apartment unit will be retrofitted automatically after your tenancy ends, we want you to know that you may request to have your apartment modified now at no cost to you. The actual work will take no longer than \_\_\_\_ days from the date construction begins and we will provide you with another unit in this development or comparable alternative living arrangements during that time. In scheduling when the repairs will take place, we will take into account your preferences and convenience.

You should be aware that this work must be completed within the next [months], regardless of your intention to stay in your apartment for a longer duration. Please let us know if you are interested in having the work done now and we will provide you with additional information.

The Management

## **APPENDIX J**

### **NOTICE TO PUBLIC**

On \_\_\_\_\_, 2021, the United States District Court for the Eastern District of North Carolina entered a Consent Order resolving a housing discrimination lawsuit brought by the United States against Lanier Pointe, LLC; Lanier Pointe Phase II, LLC; Azalea Gardens, LLC; Cottages at Azalea, LLC; Manor Ridge Limited Partnership; Millers Ridge Apartments, L.P.; Pendergraph Companies, LLC; Pendergraph Development, LLC; Pendergrant, LLC; and Caliber Builders, LLC; (“Defendants”) at forty-six apartment complexes throughout North Carolina and South Carolina. The United States alleges that the units and many common use areas (for example, rental offices, routes to amenities, etc.) are not accessible to persons with physical disabilities. As part of the Consent Order, Defendants have agreed to retrofits of the units and common use areas to comply with the Fair Housing Act and the Americans with Disabilities Act at the following apartment complexes:

Abby Gardens  
Andover Park  
Azalea Gardens Apartments  
Bayleaf Plantation  
Cambridge Farms  
Cleveland Ridge  
Clifton Park  
Cottages at Azalea Apartments  
Cottages at Brevard  
Cottages at Glendale  
Cottages at Twin Oaks  
Evans Pointe I  
Evans Pointe II  
Franklin Ridge  
Glen Arbor Apartments  
Glen Lake Apartments  
Glendale Woods  
Greenbriar Landing  
Greenridge Apartments  
Hamilton Ridge Apartments  
Hawthorne Court Apartments  
James Pointe  
Kings Falls  
Kingston Ridge  
Lanier Pointe I  
Lanier Pointe II  
Laurel Pointe I  
Laurel Pointe II  
Lochstone Apartments

Loris Gardens  
Manor Ridge Apartments  
McKinley Place  
Millers Ridge Apartments  
Morgan's Ridge I  
Morgan's Ridge II  
Oaks at Brier Creek  
Oxford Plantation  
Palmettos Way  
Port Royal  
Sierra Gardens  
Signal Ridge  
The Meadows at Brier Creek  
Wesley Landing  
Whitford Place  
Wilton Place  
WyndSOR Downs

The Consent Order also establishes a Settlement Fund to compensate persons who have been harmed as a result of this alleged discrimination at any of the above-named complexes. You or members of your family may be qualified to recover from the Settlement Fund if you or members of your family allege that you:

- were discouraged from living at any of the above-named complexes because of the lack of accessible features of the apartment or the complex;
- rented an apartment but were unable to use, or had difficulties using portions of your apartment or the complex because they were not accessible (including the inability to have visitors who have disabilities);
- paid to have any portion of your apartment or the complex modified to be more accessible;
- were not informed about, or offered, all available apartment units because of your disability or the disability of someone who would be living with you; or
- requested and were denied a reasonable accommodation for your disability or the disability of someone who was living with you.

*If you believe you have been harmed because of your disability at any of the above-named apartment complexes, or if you have information about someone else who may have been harmed, please contact the United States Department of Justice at:*

***1-833-591-0291, then select desired language option, option 4 for housing accessibility for persons with disabilities, and select option 4 for Pendergraph Development, LLC.***

*You may also write to:*

***United States Department of Justice  
Civil Rights Division  
Housing and Civil Enforcement Section  
4 Constitution Square, 150 M Street NE, Suite 8.000, Washington, DC 20530  
Attn: DJ# 175-54-167***

Or email at: [fairhousing@usdoj.gov](mailto:fairhousing@usdoj.gov)

Please include DJ# 175-54-167 in the subject line

**You must call or write no later than 365 days from [the date of entry of the Consent Order] to be eligible for compensation, and your telephone message or letter must include your name, address, and, if possible, at least TWO telephone numbers where you may be reached.**

## APPENDIX K

### RELEASE OF ALL CLAIMS

In consideration of and contingent upon the payment of the sum of (\$ \_\_\_\_\_), in accordance with the Consent Order entered in *United States v. Lanier Pointe, LLC, et al.*, (E.D.N.C.), by the United States District Court, Eastern District of North Carolina, I hereby release and forever discharge Defendants named in this action from any and all liability for any claims, legal or equitable, I may have against them arising out of the issues alleged in this action as of the date of the entry of that Consent Order. I fully acknowledge and agree that this release of Defendants will be binding on my heirs, representatives, executors, successors, administrators, and assigns. I hereby acknowledge that I have read and understand this release and have executed it voluntarily and with full knowledge of its legal consequences.

(Signature)

NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

DATE: \_\_\_\_\_

## APPENDIX L

### ACKNOWLEDGMENT OF RECEIPT OF CONSENT ORDER

On \_\_\_\_\_, I received copies of and have read the Consent Order entered by the federal district court in *United States v. Lanier Pointe, LLC, et al.*, (E.D.N.C.). I have had all of my questions concerning the Consent Order and the Fair Housing Act answered to my satisfaction.

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Print name)

\_\_\_\_\_  
(Position)

\_\_\_\_\_  
(Date)

## **APPENDIX M**

### **CERTIFICATION OF FAIR HOUSING TRAINING**

On \_\_\_\_\_, I attended training on the federal Fair Housing Act and Americans with Disabilities Act, including its requirements concerning physical accessibility for people with disabilities. I have had all of my questions concerning the Fair Housing Act and Americans with Disabilities Act answered to my satisfaction.

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Print name)

\_\_\_\_\_  
(Position)

\_\_\_\_\_  
(Date)

## **APPENDIX N**

### **NOTICE OF RETROFITS TO PUBLIC AND COMMON USE AREAS AT [PROPERTY]**

The federal Fair Housing Act requires that the public and common use areas at complexes such as [PROPERTY] have certain features of physical accessibility for persons with disabilities.

As a result of recent events, it has been brought to our attention that certain features of the public and common areas of [PROPERTY] can be modified to provide greater accessibility for persons with disabilities, consistent with the accessibility requirements of the federal Fair Housing Act. We welcome persons with disabilities, residents and guests at [PROPERTY]. We are writing this notice to let you know that beginning on \_\_\_\_\_, 2021, contractors will be coming onto the property to begin the process of modifying certain aspects of the public and common use areas. We expect the process to last approximately \_\_\_\_\_ weeks, weather permitting.

Generally, the workers will modify or “retrofit” certain sidewalks, install curb cuts and ramps or modify existing ones along certain pathways to certain ground-floor units. They will also be making some modifications to the leasing office and laundry facility, as well as to other areas, to make them more accessible to persons with disabilities. We apologize for any inconveniences you may incur as a result of this work.

If you have any questions regarding these modifications, please contact us at \_\_\_\_\_.



## APPENDIX O

### LIST OF ORGANIZATIONS

- a. Disability Rights and Resources, 5801 Executive Center Dr., #101, Charlotte, NC 28212
- b. Disability Rights North Carolina, 3724 National Drive, #100, Raleigh, NC 27612
- c. North Carolina Fair Housing Center, 114 West Parrish Street, Durham, NC 27701
- d. North Carolina Housing Coalition, 118 St. Mary's Street, Raleigh, NC 27685
- e. North Carolina Statewide Independent Living Council, 505 Oberlin Road, Suite 206, Raleigh, NC 27605
- f. ACLU of North Carolina, PO Box 28004, Raleigh, NC 27611
- g. Adaptables, 7744 N. Point Blvd., Winston-Salem, NC 27106
- h. Alliance of Disability Advocates, 3725 National Dr., #105, Raleigh, NC 27612
- i. Charlotte-Mecklenburg Community Relations, 700 Parkwood Ave., Charlotte, NC 28205
- j. Disability Advocates and Resource Center, 702-A Johns Hopkins Dr., Greenville, NC 27834
- k. DisAbility Partners, 525 Mineral Springs Dr., Sylva, NC 28779
- l. disAbilityResource Center, 5041 New Centre Dr., #210, Wilmington, NC 28403
- m. Durham Human Relations Commission, 807 E Main St., Bldg. 2, Durham, NC 27701
- n. Legal Aid of NC, Fair Housing Project, 224 S. Dawson St., Raleigh, NC 27602
- o. NC Human Relations Commission, 116 W. Jones St., #2, Raleigh, NC 27603
- p. NC Justice Center, 224 S. Dawson Street, Raleigh, NC 27601
- q. Orange County Human Relations Commission, 200 S. Cameron St., Hillsborough, NC 27278
- r. Raleigh Fair Housing Hearing Board, 222 W. Hargett St., #309, Raleigh, NC 27601
- s. Raleigh Human Relations Commission, 222 W. Hargett St., #309, Raleigh, NC 27601
- t. Rocky Mount Human Relations Commission, 331 S. Franklin St., Rocky Mount, NC 27802
- u. Salisbury-Rowan Human Relations Council, 132 N. Main St., Salisbury, NC 28144
- v. WA Human Relations Council, 102 E. 2<sup>nd</sup> St., Washington, NC 27889
- w. Wilson Human Relations Commission, 104 Goldsboro St. E., Wilson, NC 27893
- x. Winston-Salem Human Relations Commission, 101 N. Main St., Winston-Salem, NC 27101

#### South Carolina

- a. ABLE SC, 720 Gracern Rd., #106, Columbia, SC 29210

- b. ACLU of SC, PO Box 20998, Charleston, SC 29413
- c. Affordable Housing Coalition of SC, PO Box 1623, Columbia, SC 29202
- d. Community Housing Resource Board of Anderson, 401 S. Main St., Anderson, SC 29622
- e. Greenville County Human Relations, 301 University Ridge, #1600, Greenville, SC 29601
- f. Palmetto Animal Assisted Life Services, 221 N. Grampian Hills Rd., Columbia, SC 29223
- g. Protection & Advocacy for People with Disabilities, 3710 Landmark Dr., #208, Columbia, SC 29204
- h. SC Appleseed Legal Justice, 1518 Washington St., Columbia, SC 29201
- i. SC Human Affairs Commission, 1026 Sumter St., Columbia, SC 29201
- j. SC Legal Services, 2109 Bull St., Columbia, SC 29201
- k. United Housing Connections, 135 Edinburgh Ct., #100-B, Greenville, SC 29607